

City of Charleston

Design Review Board

November 7, 2016

Agenda Item 1:

Maybank Highway at Promenade Vista Street

Request Conceptual approval for new construction of a multi-family development as per documentation submitted.



CONTEXT MAP



view facing northeast



private waterfront residence, north side of Maybank



the Standard Apartments, south side of Maybank—directly adjacent to Project Site



the Standard Apartments, south side of Maybank—directly adjacent to Project Site



view of site toward southwest



commercial shopping center—directly adjacent to project site

APPLICANT PRESENTATION

MAYBANK APARTMENTS CONTEXT PHOTOS



commercial shopping center, south side of Maybank



commercial development, north side of Maybank



commercial development, north side of Maybank



commercial development, north side of Maybank



entry to private waterfront residence, north side of Maybank



entry to private waterfront residence, north side of Maybank



view facing northeast



private waterfront residence, north side of Maybank



commercial shopping center, north side of Maybank



commercial shopping center, north side of Maybank



commercial structure, north side of Maybank



commercial structure, south side of Maybank



auto repair shop, south side of Maybank



dry cleaners and self-storage structures, south side of Maybank



commercial shopping center, south side of Maybank



commercial structure, south side of Maybank



commercial structure, south side of Maybank



industrial structures, south side of Maybank



gas station, south side of Maybank



church, south side of Maybank



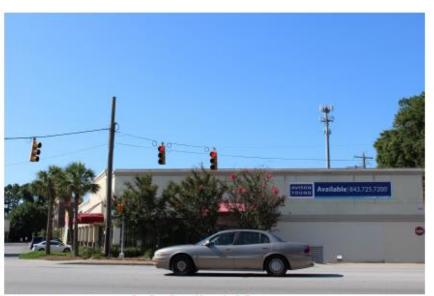
the Standard Apartments, south side of Maybank—directly adjacent to Project Site



the Standard Apartments, south side of Maybank—directly adjacent to Project Site



view of site toward southwest



commercial shopping center—directly adjacent to project site



commercial shopping center—directly adjacent to project site



commercial shopping center—directly adjacent to project site





vernacular structure (further west on Maybank)

MAYBANK PLANNED UNIT DEVELOPMENT

CHARLESTON, SOUTH CAROLINA

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    MAYBANK REAR BUILDING - LEVEL 1

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CONCEPTUAL DRB APPROVAL NOVEMBER 7TH, 2016



39. MAYBANK REAR BUILDING - CORNER ELEVATION 40. MAYBANK REAR BUILDING - CORNER SECTION









ACROSS MAYBANK HIGHWAY 102 WAPPOO CREEK DRIVE - OFFICE





ADJACENT TO WEST SIDE OF SITE THE STANDARD AT JAMES ISLAND - APART-MENTS





ADJACENT TO EAST SIDE OF SITE JAMES ISLAND CLEANERS - JAMES ISLAND CEN-TER - RETAIL/COMMERCIAL



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CONCEPTUAL DRB APPROVAL NOVEMBER 07, 2016

MAYBANK PLANNED UNIT DEVELOPMENT CHARLESTON, SOUTH CAROLINA





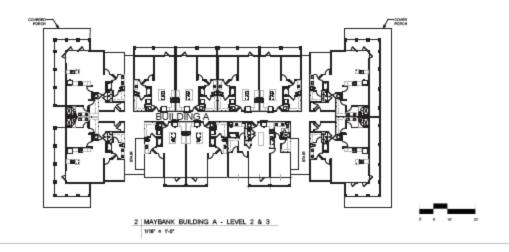
MAYBANK BUILDING A & B - LEVEL 1 - MAYBANK HWY U18" = 1'-0"

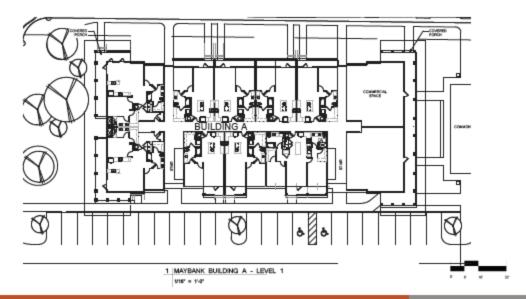






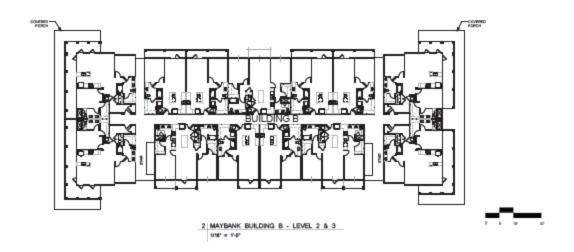


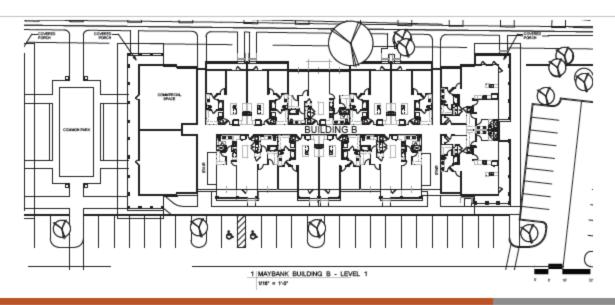


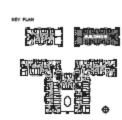




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1 MAYBANK BUILDING A & B - OVERALL NORTH ELEVATION - MAYBANK HWY



2 MAYBANK BUILDING A & B - OVERALL SOUTH ELEVATION - REAR

ELEVATION LEGEND

BRI BRICK CES CEMENTITIOUS SOAPO AND SATTEM SMOOTH W 2" SATTEMS - PAINT FINEM CER COMPOSITE BRACKETS

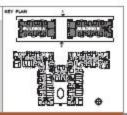
CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTITIOUS TRIM BOARD GRD GAPAGE DOOR

HRS STEEL GUARDRAIL SHR ASPHALT SHINGLE ROOFING FMR RIBBED METAL ROOF

MCDULAR SIZE

PAINT FINISH 7.55'-11.25' SMOOTH + PAINT FINISH 8.35" SMOOTH - PAINT FINSH 7.35'-11.25' SMOOTH - PAINT FINISH FIBERGLASS - SMOOTH

STR STOREFRONT WENT DOUBLE HUNG WINDOW I' CLEAR GLASS MANUF. TOD





PICKET STYLE - PAINT FINSH

ARCHITECTURAL SHINGLES

PREFINISHED GRAY

1 MAYBANK BUILDING A - NORTH ELEVATION - MAYBANK HIGHWAY

ELEVATION LEGEND

BRI BRICK CES CEMENTITIOUS SOAPO AND SATTEM SMOOTH W 2" SATTEMS - PAINT FINEM CER COMPOSITE SPACKETS

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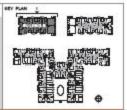
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ARCHITECTURAL SHINGLES

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STR STOREFRONT WENT DOUBLE HUNG WINDOW I' CLEAR GLASS MANUF. TOD



PREFINISHED GRAY





1 MAYBANK BUILDING A - WEST ELEVATION

2 MAYBANK BUILDING A - EAST ELEVATION

ELEVATION LEGEND

BRI BRICK CER COMPOSITE SPACKETS

CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTMOUS TRUM BOARD GRD GAPAGE DOOR

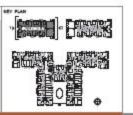
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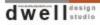
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ARCHITECTURAL SHINGLES PREFINISHED GRAY

STR STOREFRONT WITH DOUBLE HUNG WINDOW I' CLEAR GLASS MANUF. TOD





ELEVATION LEGEND

BRI BRICK CES CEMENTITIOUS SOAPO AND SATTEM SMOOTH W 2" SATTEMS - PAINT FINEM CER COMPOSITE SPACKETS

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ARCHITECTURAL SHINGLES

PREFINISHED GRAY

STR STOREFRONT WENT DOUBLE HUNG WINDOW I' CLEAR GLASS MANUF. TOD





1 MAYBANK BUILDING B - SOUTH ELEVATION - REAR

ELEVATION LEGEND

BRI BRICK CEB CEMENTITIOUS BOARD AND BATTEN SMOOTH W 2" BATTENS - PAINT FINEM CER COMPOSITE SPACKETS

CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTITIOUS TRUM BOARD GRD GAPAGE DOOR

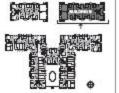
HRS STEEL GUARDRAIL SHR ASPHALT SHINGLE ROOFING ARCHITECTURAL SHINGLES FMR RIBBED METAL ROOF PREFINISHED GRAY

MCDULAR SIZE

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STR STOREFRONT I' CLEAR GLASS WITH DOUBLE HUNG WINDOW MANUF. TOD

BEY PLAN







1 MAYBANK BUILDING B - WEST ELEVATION

2 MAYBANK BUILDING B - EAST ELEVATION

ELEVATION LEGEND

BRI BRICK CER COMPOSITE SPACKETS

CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTITIOUS TRUM BOARD GRD GAPAGE DOOR

SHR ASPHALT SHINGLE ROOFING

MCDULAR SIZE CEB CEMENTITIOUS BOARD AND BATTEN SMOOTH W 2" BATTENS - PAINT FINEM PAINT FINISH

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PREFINISHED GRAY

STR STOREFRONT I' CLEAR GLASS WENT DOUBLE HUNG WINDOW MANUF. TOD



BEY PLAN



FMR RIBBED METAL ROOF

HRS STEEL GUARDRAIL



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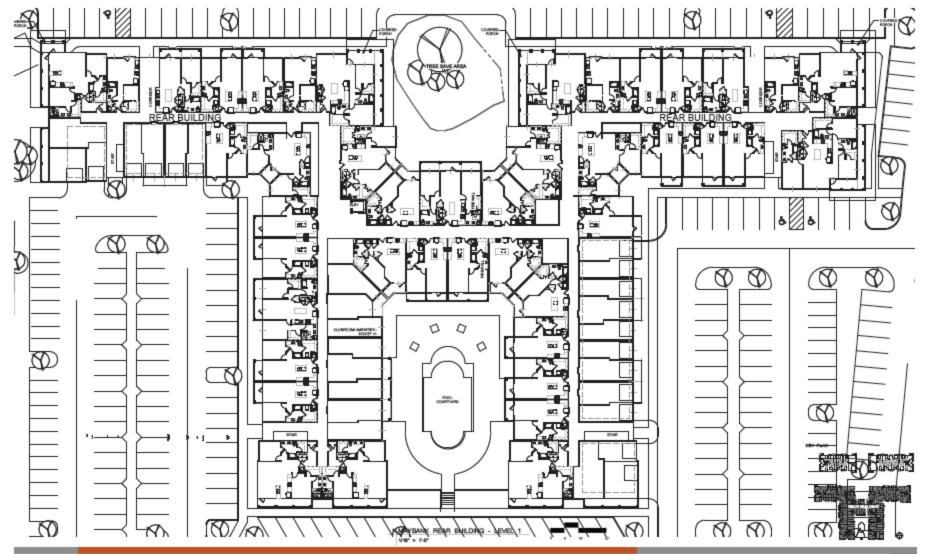
MAYBANK PLANNED UNIT DEVELOPMENT CHARLESTON, SOUTH CAROLINA



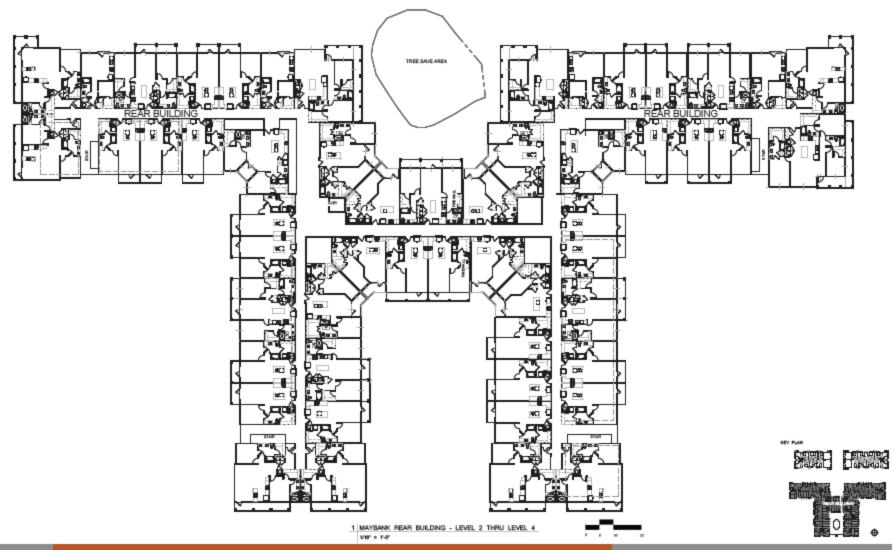


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MAYBANK PLANNED UNIT DEVELOPMENT

CHARLESTON, SOUTH CAROLINA

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1 MAYBANK REAR BUILDING - OVERALL NORTH ELEVATION

ELEVATION LEGEND

BRI BRICK CER COMPOSITE SPACKETS

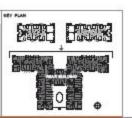
CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTITIOUS TRUM BOARD GRD GAPAGE DOOR HRS STEEL GUARDRAIL

SHR ASPHALT SHINGLE ROOFING

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STR STOREFRONT WENT DOUBLE HUNG WINDOW I' CLEAR GLASS MANUF. TOD



FMR RIBBED METAL ROOF

ARCHITECTURAL SHINGLES

PREFINISHED GRAY



1 MAYBANK REAR BUILDING - NORTH ELEVATION - PART A

ELEVATION LEGEND

BRI BRICK CES CEMENTITIOUS SOAPO AND SATTEM SMOOTH W 2" SATTEMS - PAINT FINEM CER COMPOSITE SPACKETS

CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTITIOUS TRIM BOARD GRD GAPAGE DOOR

HRS STEEL GUARDRAIL SHR ASPHALT SHINGLE ROOFING FINE RIBBED METAL ROOF

MCDULAR SIZE PAINT FINISH

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ARCHITECTURAL SHINGLES

BELLO DARRIS

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PREFINISHED GRAY

STR STOREFRONT WERE DOUBLE HUNG WINDOW





1 MAYBANK REAR BUILDING - NORTH ELEVATION - TREE SAFE AREA - PART B



BRI BRICK CEB CEMENTITIOUS BOARD AND BATTEN SMOOTH W 2" BATTENS - PAINT FINEM CER COMPOSITE SPACKETS

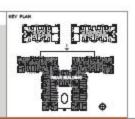
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MCDULAR SIZE

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STR STOREFRONT WERE DOUBLE HUNG WINDOW I' CLEAR GLASS MANUF. TOD



PREFINISHED GRAY



ELEVATION LEGEND

BRI BRICK CES CEMENTITIOUS SOAPO AND SATTEM SMOOTH W 2" SATTEMS - PAINT FINEM CER COMPOSITE SPACKETS

CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTITIOUS TRIM BOARD GRD GAPAGE DOOR HRS STEEL GUARDRAIL

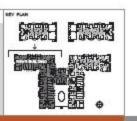
SHR ASPHALT SHINGLE ROOFING

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STR STOREFRONT WERE DOUBLE HUNG WINDOW

I' CLEAR GLASS MANUF. TOD



FINE RIBBED METAL ROOF



1 MAYBANK REAR BUILDING - OVERALL EAST ELEVATION

ELEVATION LEGEND

BRI BRICK CEB CEMENTITIOUS BOARD AND BATTEN SMOOTH W 2" BATTENS - PAINT FINEM CER COMPOSITE SPACKETS

CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTITIOUS TRIM BOARD

GRD GAPAGE DOOR HRS STEEL GUARDRAIL SHR ASPHALT SHINGLE ROOFING FINE RIBBED METAL ROOF

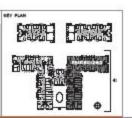
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PREFINISHED GRAY

BELLO DARRIS

STR STOREFRONT WERE DOUBLE HUNG WINDOW







1 MAYBANK REAR BUILDING - EAST ELEVATION - PART A

ELEVATION LEGEND

BRI BRICK CES CEMENTITIOUS SOAPO AND SATTEM SMOOTH W 2" SATTEMS - PAINT FINEM CER COMPOSITE BRACKETS

CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTITIOUS TRIM BOARD GRD GARAGE DOOR

HRS STEEL GUARDRAIL SHR ASPHALT SHINGLE ROOFING FINE RIBBED METAL ROOF

MCDULAR SIZE

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PREFINISHED GRAY

STR STOREFRONT WERE DOUBLE HUNG WINDOW







ELEVATION LEGEND

BRI BRICK CER COMPOSITE SPACKETS

CFB CEMENTITIOUS FASCIA BOARD CLP CEMENTITIOUS LAP SIGNS CTB CEMENTMOUS TRUM BOARD GRD GAPAGE DOOR

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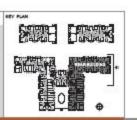
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ARCHITECTURAL SHINGLES PREFINISHED GRAY

BELLO DARRIS

STR STOREFRONT WITH DOUBLE HUNG WINDOW





1 MAYBANK REAR BUILDING - OVERALL WEST ELEVATION

ELEVATION LEGEND

BRI BRICK CEB CEMENTITIOUS BOARD AND BATTEN SMOOTH W 2" BATTENS - PAINT FINEM CER COMPOSITE SPACKETS

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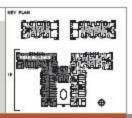
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PREFINISHED GRAY

STR STOREFRONT WERE DOUBLE HUNG WINDOW







1 MAYBANK REAR BUILDING - WEST ELEVATION - PART A

ELEVATION LEGEND

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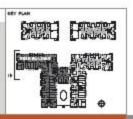
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FIBERGLASS - SMOOTH PICKET STYLE - PAINT FINSH ARCHITECTURAL SHINGLES PREFINISHED GRAY

STR STOREFRONT WENT DOUBLE HUNG WINDOW







1 MAYBANK REAR BUILDING - WEST ELEVATION - PART B

ELEVATION LEGEND

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MCDULAR SIZE

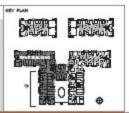
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PREFINISHED GRAY

BELLO DARRIS

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STR STOREFRONT WENT DOUBLE HUNG WINDOW







1 MAYBANK REAR BUILDING - OVERALL SOUTH ELEVATION

ELEVATION LEGEND

BRI BRICK CER COMPOSITE SPACKETS

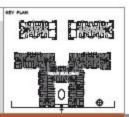
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STR STOREFRONT WENT DOUBLE HUNG WINDOW





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ELEVATION LEGEND

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PAINT FINISH 7.55'-11.25' SMOOTH + PAINT FINISH 8.35" SMOOTH - PAINT FINSH 7.35'-11.25' SMOOTH - PAINT FINISH FIBERGLASS - SMOOTH PICKET STYLE - PAINT FINSH

ARCHITECTURAL SHINGLES

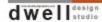
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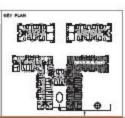
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1 MAYBANK REAR BUILDING - OVERALL COURTYARD WEST ELEVATION

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ELEVATION LEGEND

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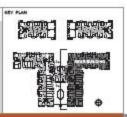
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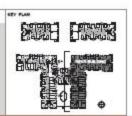
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ARCHITECTURAL SHINGLES

PREFINISHED GRAY



1 MAYBANK HIGHWAY- OVERALL SITE ELEVATION



1 MAYBANK HIGHWAY - NORTHWEST CORNER



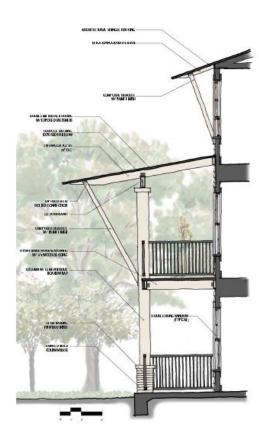
2 MAYBANK HIGHWAY - AT NORTHEAST CORNER



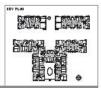
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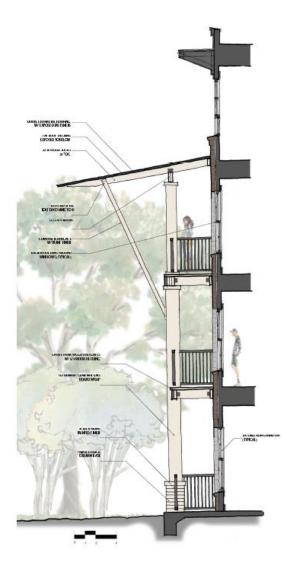
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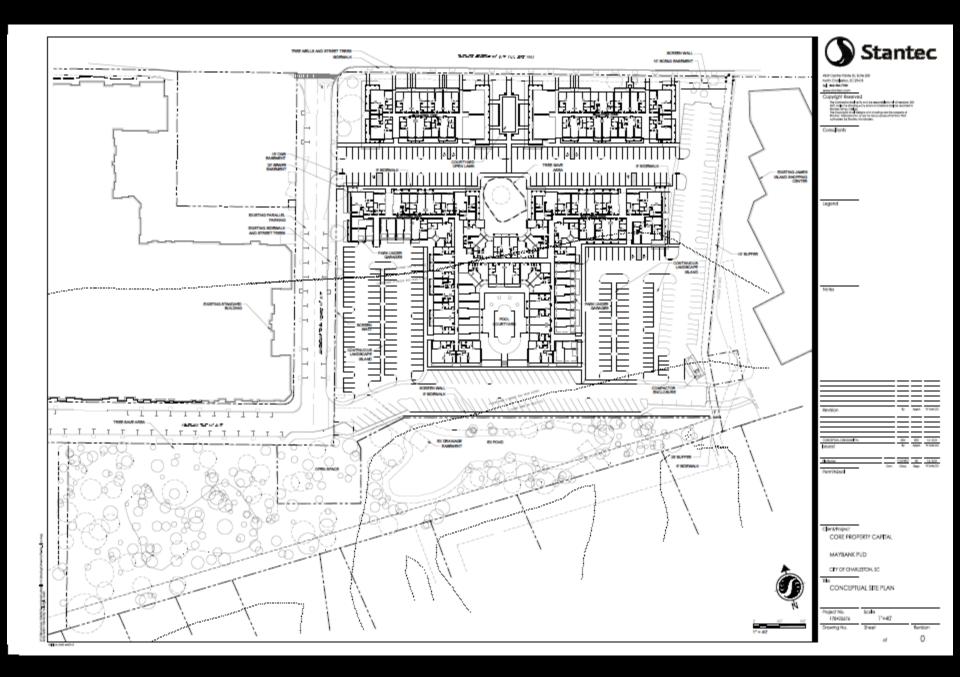
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1 MAYBANK REAR BUILDING - CORNER SECTION





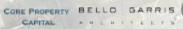


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SCALE 1"=40'-0"

JAMES ISLAND, SC OCTOBER 2016









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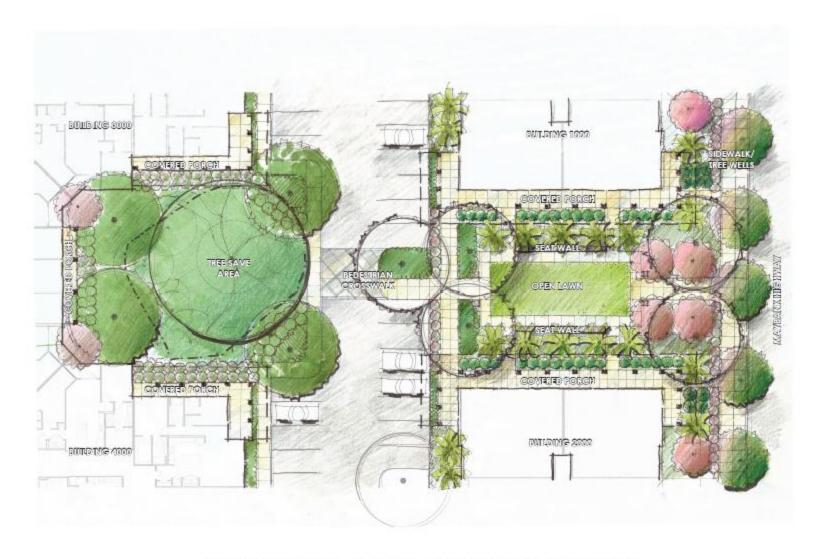
CORE PROPERTY CAPITAL

MAYBANE PUD.

CITY OF CHANGESTON, SC

CONCEPT PLANT PALETTE

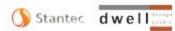
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CONCEPTUAL LANDSCAPE

MAYBANK PLANNED UNIT DEVELOPMENT

SCALE: 1"=10'-0"







Agenda Item 2:

Island Park Drive at Central Island Street

Request Preliminary approval for new construction of a mixed use building as per documentation submitted.



CONTEXT MAP



VIEW NORTH ACROSS ISLAND PARK DRIVE



VIEW SOUTH TO POND FROM SITE



VIEW NORTH ALONG CENTRAL ISLAND STREE



VIEW EAST ALONG ISLAND PARK DRIVE



rijest number 1613

DANIEL ISLAND SQUARE PHASE I DANIEL SLAND PERMORMING ARTS CONTER MULTI-USE DEVELOPMENT

Dani el Island, South Carolina



Preliminary DRB 10.5.16 Submittal

more danger

CONTEXT PHOTOS

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CONTEXT PHOTOS















STREET SCAPE FACING SOUTH

A004

APPLICANT PRESENTATION

PROJECT INFORMATION

STUBBS MULDROW HERIN ARCHITECT 400 Hibben St., Mount Pleasant, SC 29466 MARGIE LONGSHORE BAJARI, 7642 m. longshore@smha.com

PARTITION INCOME.

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REMARK STUDIO
430 N HANOVER STREET
Charleston, S.C. 29403
J.R. KRAMER
643.952, 7617
[42] with advantable com-

ADC ENGINEERING, NO.

1226 Yearnans Hall Road Hamhan, S.C. 25410 MARK DILLON 843,566,0161 markd@adcengineering.com

DWG, NC. 1009 Anna Knapp Blve, Suite 202 Mount Pleasant, SC 29466 840,849.1148

> MARK UYAK muyak@deginc.com

DAVID WILLS dwlling degine.com

DRAWING INDEX

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submittal date: October 5, 2016 meeting date: October 17, 2016

Preliminary Submittal for City of Charleston DRB



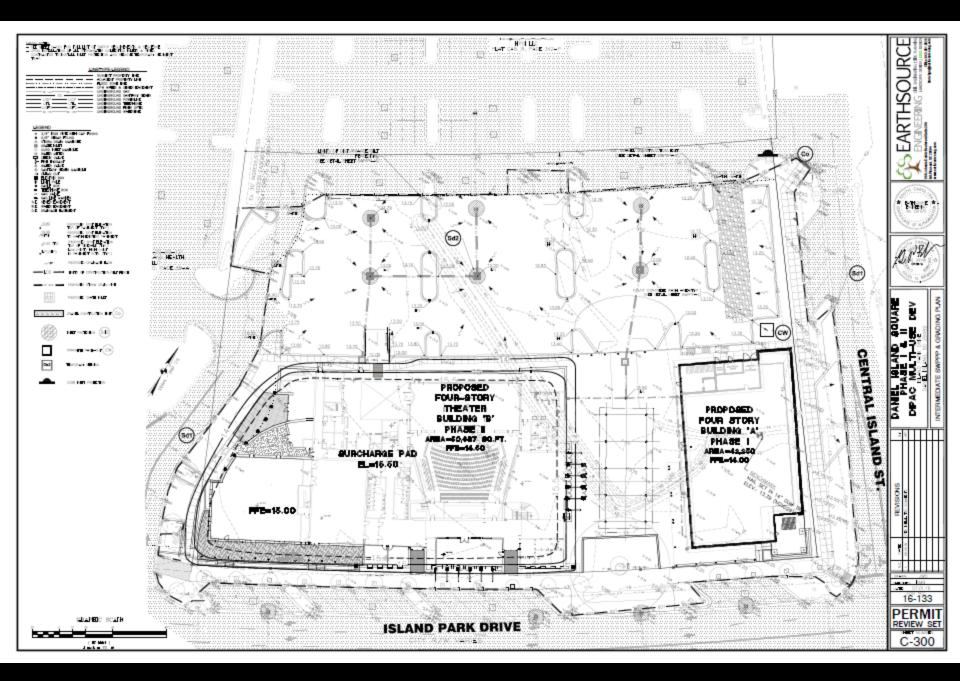
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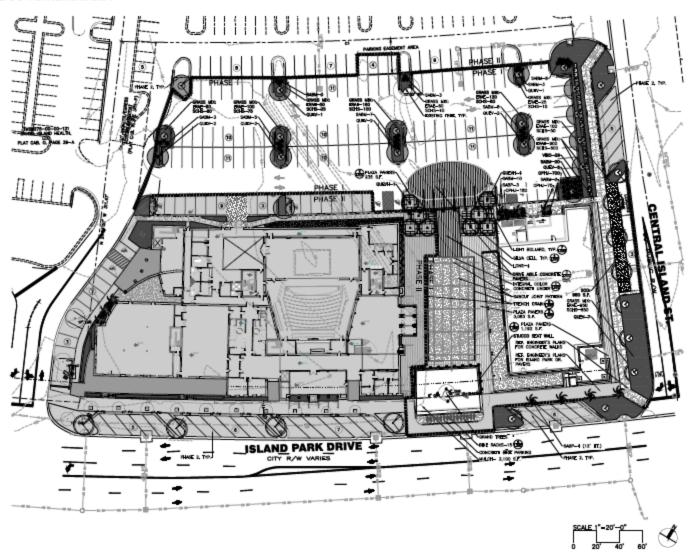
DANIEL ISLAND PERMORMING ARTS CENTER
MULTI-USE DEVELOPMENT

DANIEL ISLAND, SOUTH CAROLINA



GENERAL NOTES:





REMARK

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project number

DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORMING ARTS CENTER MULTI-USE DEVELOPMENT

Deniel Island, South Carolina



Design Development 09,22,16

LANDSCAPE PLAN

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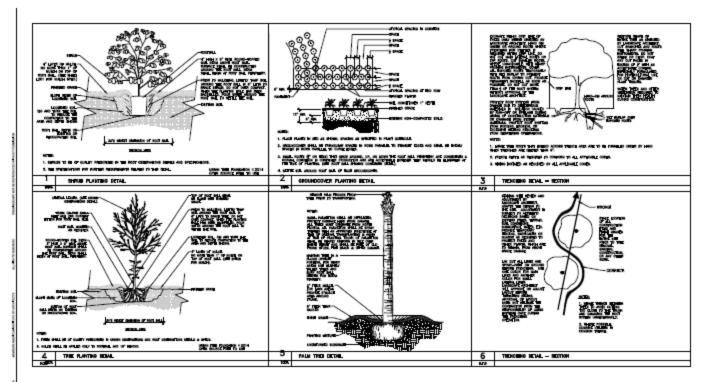
MULTI-USE DEVELOPMENT Daniel Island, South Carolina



Doslan 09.22.16 Development

ANDSCAPE SCHEDULE & NOTES

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Innéscapo architecturo

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project number

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DANEL SLAND
PERMORMING ARTS CENTER
MULTI-USE DEVELOPMENT

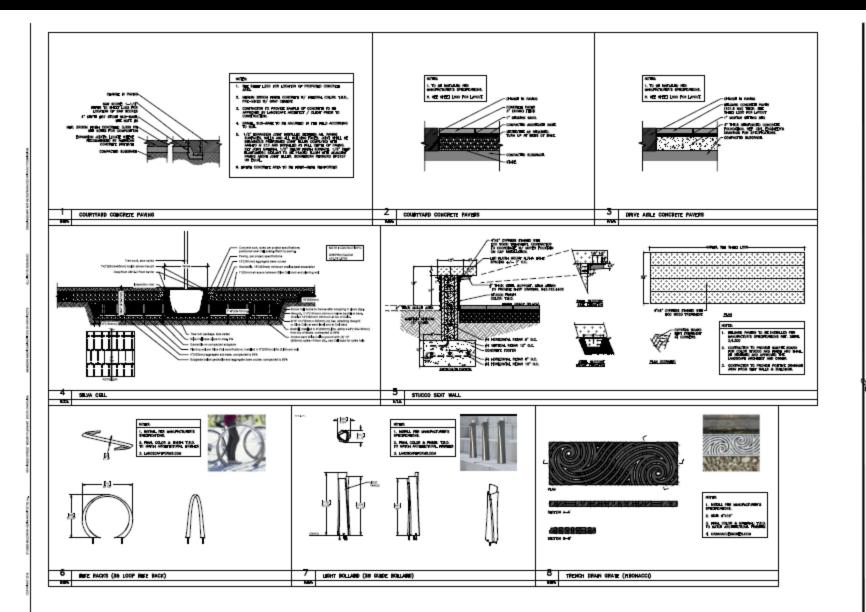
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Dosign 09.22.16 Development

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REMARK Innéscapo architecturo

DANJEL JSLAND SQUARE PHASE I DANIEL ISLAND PERMORIMING ARTS CENTER MULTI-USE DEVELOPMENT

Deniel Island, South Carolina



Dosign 09.22.16 Development

SITE DETAILS



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VIEW SOUTH TO POND FROM SITE



VIEW NORTH ALONG CENTRAL ISLAND STREET



VIEW EAST ALONG ISLAND PARK DRIVE



jed note: 1613.00

DANIEL ISLAND SIGUARE
PHASE I
DANIEL SLAND
PERMORNING ARTS CENTER
MULTI-USE DEVELOPMENT
Daniel Island, South Carolina



Preliminary DRB 10516 Submittal

- Control

CONTEXT PHOTOS

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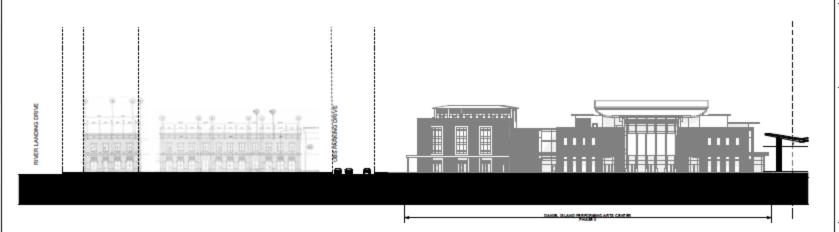
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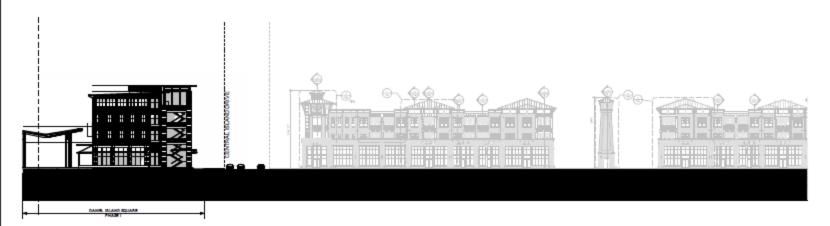
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Preliminary DRB Submittel 105.16

ISLAND PARK DRIVE STREET SCAPE FACING SOUTH







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MULTI-USE DEVELOPMENT

Daniel Island, South Carolina



Preliminary DRB Submittel

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10516

ISLAND PARK DRIVE STREET SCAPE FACING NORTH

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with Mr. 30,000 prin



1613.00 pojesi nante r

DANIEL ISLAND S QUARE PHASE I DANIEL SLAND PERMORMING ARTS CONTER. MULTI-USE DIDVELOPMENT Dani el Island, South Camilna



Preliminary DRB Submittal 105.16

PHOTO FROMBRIDGE



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DANIEL ISLAND SQUARE PHASE I DANIEL SLAND PERMORMING ARTS CENTER MULTI-USE DEVELOPMENT

Dani 4 Island, South Carolina



Preliminary DRB 10516 Submittal

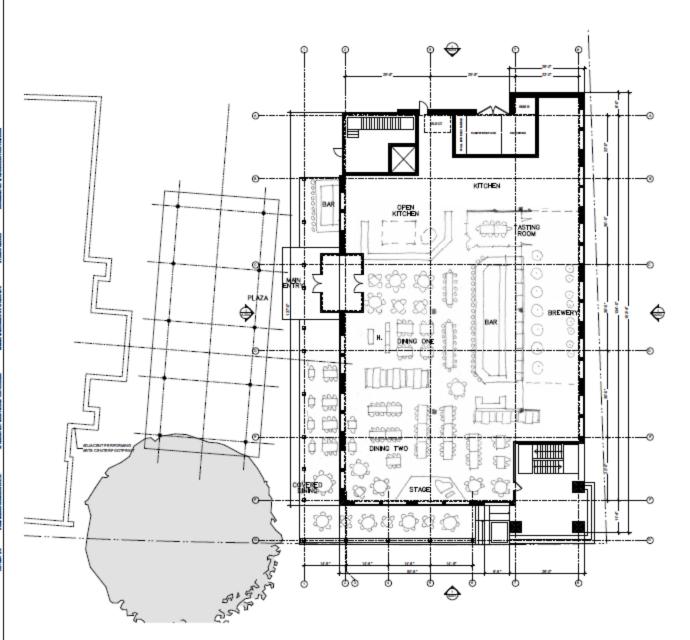
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DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORANIS ARTS CENTER MULTHUSE DEVELOPMENT

Daniel Island, South Carolina



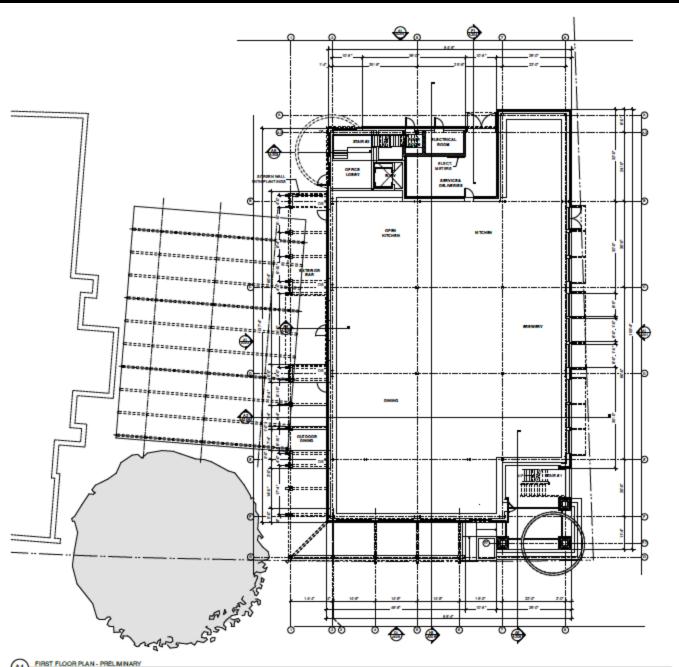
10516

Preliminary DRB Submittel

FIRST FLOOR PLAN -CONCEPTUAL

A101

FIRST FLOOR PLAN - CONCEPTUAL



LEGEND:

0 I

PREEXTHOLIBRE PRE EXT MULEHERCARRETAND EXT MULEHER

E BURGACHERACOR

PLOOR DRAW, SEE R. LIMBING
 ROOF DRAW LEADER, SEE PLUMBING & CIVIL
DE DOWNSTRUTT, SEE ROOF PLAN

EL MARCHAY EXPANSION JOINT (MER DTL. 3338033)
CL CONCARTE OR GALL CONTROL JOINT

GENERAL NOTES:

A. DIM RIGIONETO PAGE OF ETUD LINESEMOTED OTHERWISE.
(CLINDIOATES DM RIGION TO COLUMNO RWALL CENTERLINE)

B. ALL PARTITIONS ARETURE XX LINESS NOTED OTHERWISE

C. ALL EXTER OR MACHINIVOM BUSICHEARENOM BAL. FOR ACTUAL DIMENSIONS SHE ENLANGED DETAILS ON ACCO.

D. WE BLAKED PLANED STARE AND SLEVED REPORT PARTITION TYPES IN THE MEASUREMERSHICED.

E. GENERAL CONTRACTOR TO LAYOUT LOCATION OF BUILDING ACCORDING TO THE DIMENSIONS SHOWN ON THE SHIRT RELETIVETO PROPRIETYLINE CORNERS.

R. R. MIDETAL, DIMINISIONET AVE PROGRAM FA COMPLICT ARRESS WITH TYPICA, DIMINISION STRINGS. SHE RAN DETAIL EMBETEASII - AXXX

 ALL REPRIOR DOCALE ARE LOCATED WITH REPRIOR OF JAME ATHRIDE SIDE 6 INCHEST ROM ADJACENT WALL, LINLESS NOTED O THERWISE.



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DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORMING ARTS CENTER MULTI-USE DEVELOPMENT

Daniel Island, South Carolina



Preliminary DRB 105.16 Submittel

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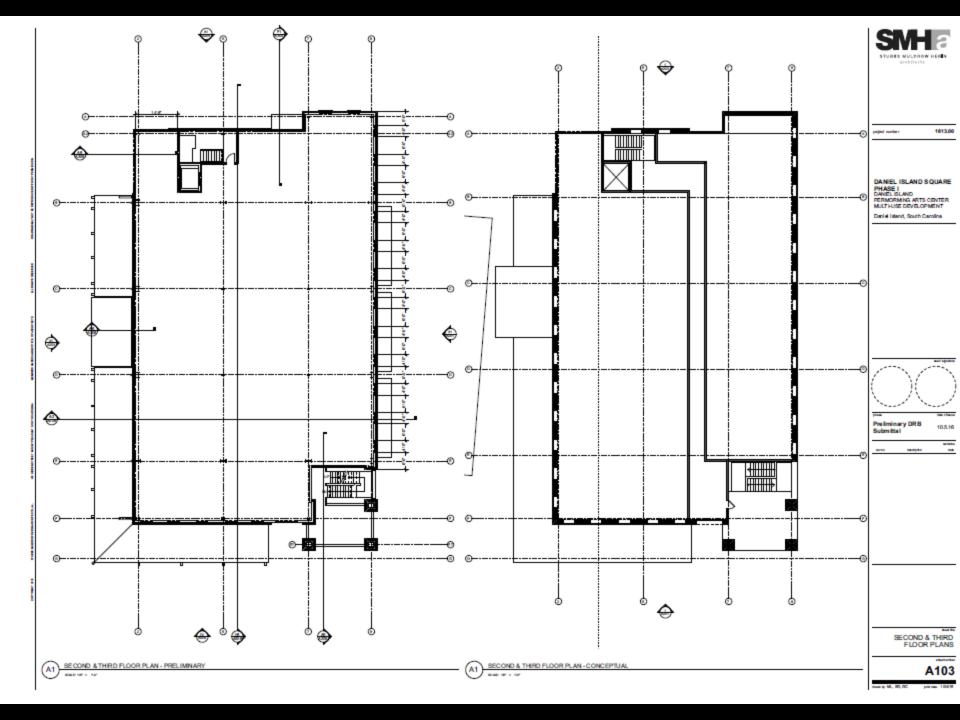
FIRST FLOOR PLAN -PREUMINARY

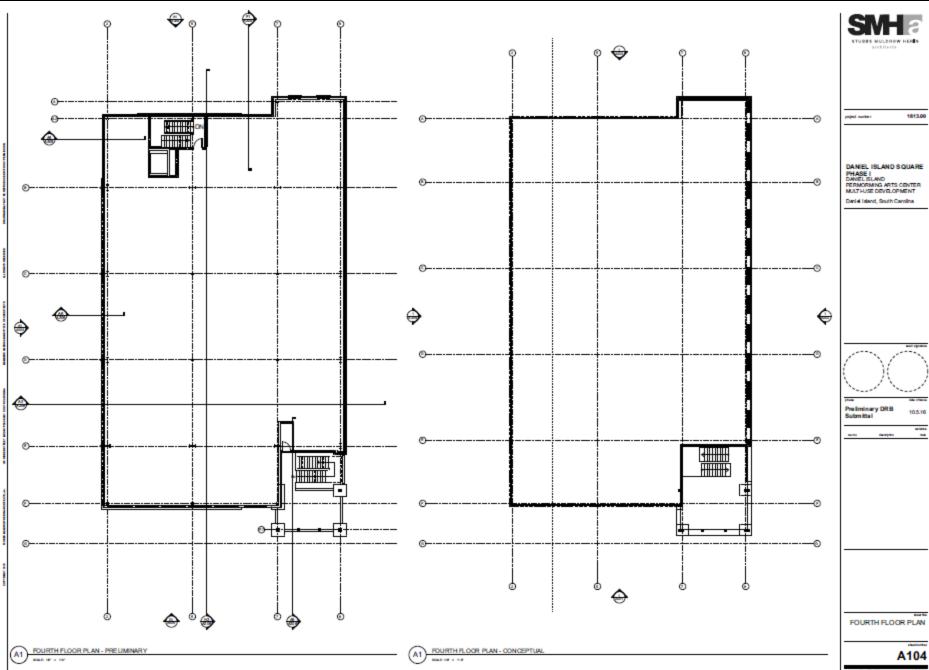
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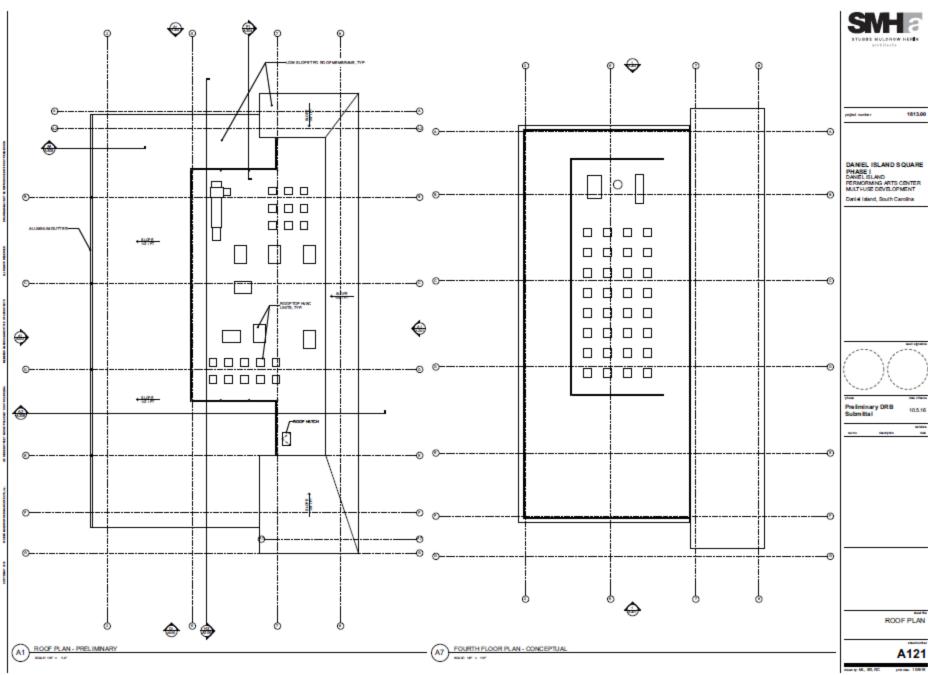
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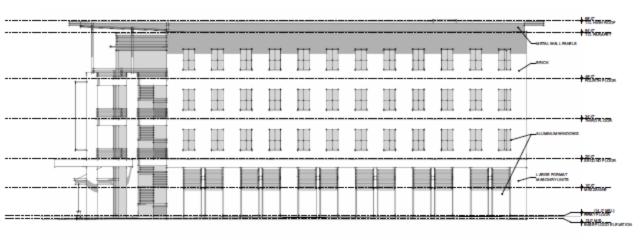
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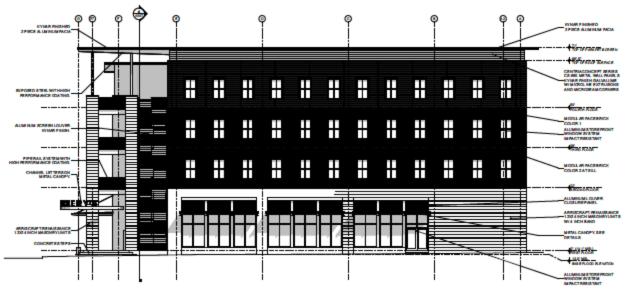








H1 EAST ELEVATION - CONCEPTUAL



A1 EAST ELEVATION - PRELIMINARY

GENERALNOTES:

A RULDING FLEWT CREEKOW RRATIVE GRADE WUTTING THE BUILDING. REPERINCE CIVIL DRAWING BY OR MORE SPECIFIC SCHERICE GRADING BY CRAWTICN.



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DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORMING ARTS CENTER MULTHUSE DEVELOPMENT

Daniel Island, South Carolina



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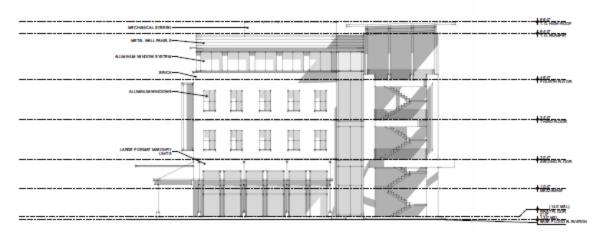
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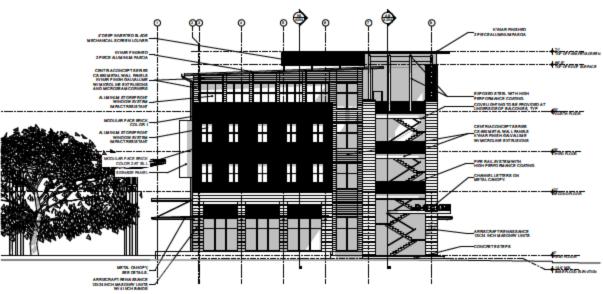
EAST ELEVATION

A201

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(H1) SOUTH ELEVATION - CONCEPTUAL



80JTH ELEVATION - PRELIMINARY

SWH 2

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DANIEL ISLAND SQUARE PHASE I DAVIEL ISLAND PERMORMING ARTS CENTER MULTHUSE DEVELOPMENT

Daniel Island, South Carolina



Preliminary DRB Submittel

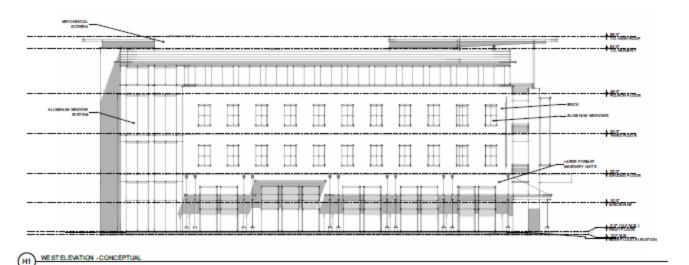
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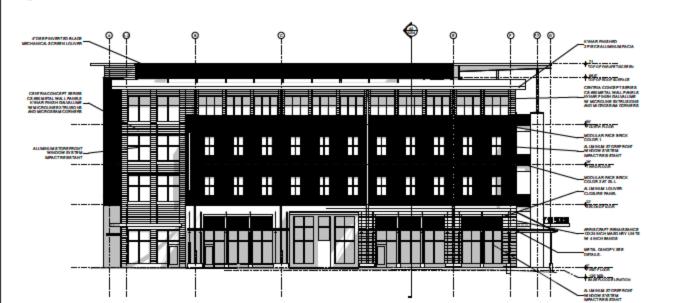
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SOUTH ELEVATION

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MESTELEVATION - PRELIMINARY

GENERAL NOTES:

A BUILDWORLDWINGS BYOW MULTISTORICE ABUTTON THE BUILDWO. REPORTED COLL DRIW HOLFOR MORE IF ROPICE STRUCK GROUND OF CEMITION.

BUILDINGS SCHOOLS AS PROMISE PROMISE PROMISE AND SIGNIFICAL SECTIONS SET WAS PROVIDE ASD MONEY IN PORTAGON TO THE PROSESS OF COME THE WORK DISCONDENSING SELECTION SCHOOLS.

 WHITE A BUILDINGS PCTICK BRIMBINGS AND ETHICAS STUTION, THE MOST CITYLES OF MICH. RAWLING THIS MICH. SEE: MI



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DANIEL ISLAND SQUARE PHASE I DANIEL SLAND PERMORMING ARTS CENTER MULTHUSE DEVELOPMENT

Daniel Island, South Carolina



Preliminary DRB Submittel

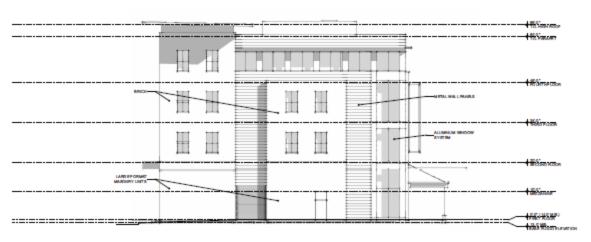
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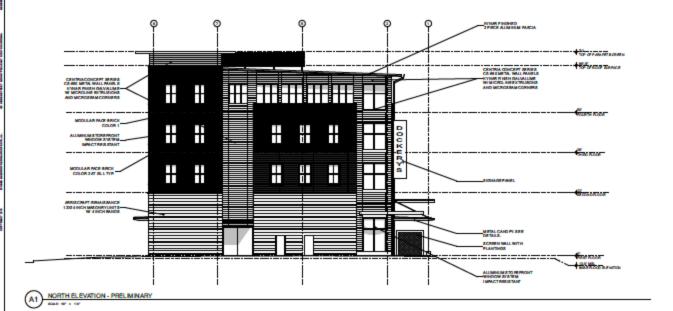
WEST ELEVATION

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H1 NORTH ELEVATION - CONCEPTUAL



SWH 2

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DANIEL ISLAND SQUARE PHASE I DAVIEL ISLAND PERMORMING ARTS CENTER MULTHUSE DEVELOPMENT

Daniel Island, South Carolina



Preliminary DRB Submittel

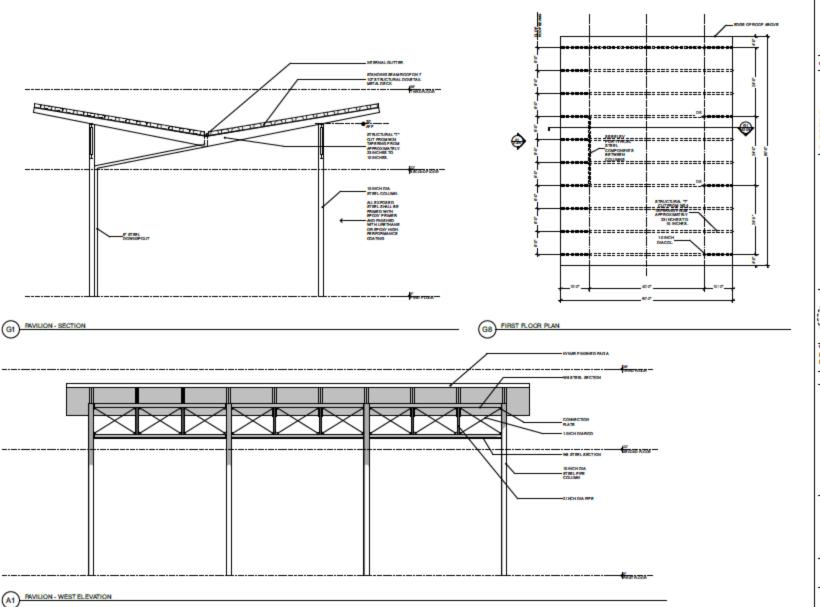
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NORTH ELEVATION

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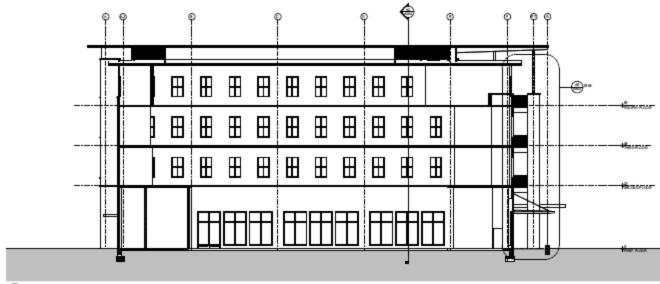
DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORMING ARTS CENTER MULTI-USE DEVELOPMENT

Daniel Island, South Carolina

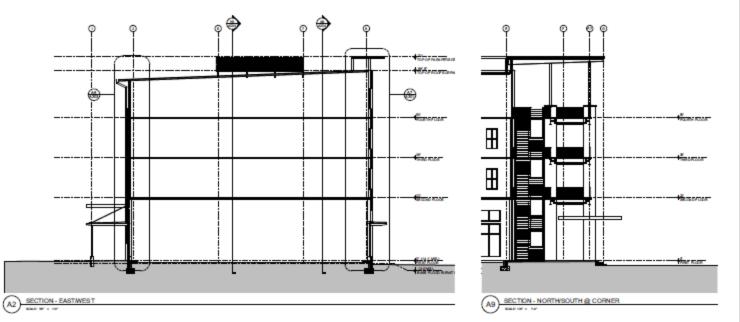


Preliminary DRB Submittel 10516

COURTYARD PAVILION



H3 SECTION - NORTH/SOUTH



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DANIEL ISLAND S QUARE PHASE I DANIEL SLAND PERMORMING ARTS CENTER MULTHUSE DEVELOPMENT

Daniel Island, South Carolina



Preliminary DRB Submittel

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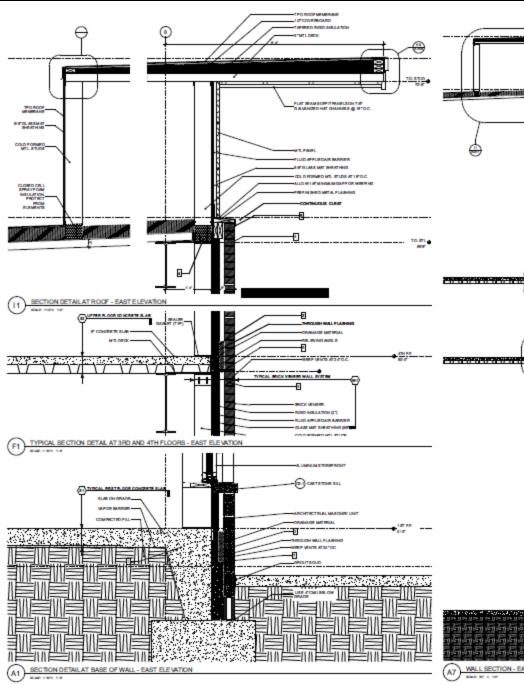
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BUILDING SECTIONS

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A THE THE INTERFECT PAIR BLUIND DEPAIRED AND THAT THE DIES BEIDT OF THE ARE BRANCHE, BY THE JAKE THE WINDER BRANCHE, BY THE JAKE THE WINDERS BRANCHE, SE DOT'N THE HOUR DISTRICT, AND THE WINDERS, BY COMPANIES OF THE SEC ALL TRANSITIONS CANNOT BY BRANCHES VERMAN THE BRANCHES OF THE SEC BRANCHES AND THE WINDERS OF THE WINDERS OF THE WINDERS CONTINUED AND BRANCHES AND BUT OF THE BRANCHES CANNOT AND ALL STRUCTURES WHICH ARE BRANCHES AND BUT OF THE BRANCHES COMMISSION. BUPS, BARNINGS DIRECTION MAY REPROVIDED

B. SEQUENCING OF CONSTRUCTION, WHILE THE RESPONSE LITYOF THE OBJETAL ON REACTOR, SHALL OCCUPY HAS PROGRESSIVE MAKERS THAT PROPERLY LARE ANY AND ALL HAS REPROPEDED ON MECHENIES TO SHIPD WATER AWAY PROMITED THE INTERIOR OF

C. STUD CONFIDERATIONS WIS DIAGRAMMED. TO THE POINT THAT THEY INDICATE THE REQUIRED FACE OF STUD TO WHICH OTHER MATERIALS WIS ATTACHED ADDITIONAL STUDF RAMING MAY REREQUIRED, REVOND THE INDIVIDUAL STUDSHOLDS FED. TO STHER PROVDE ATTACHMENTS FOR MATERIA, EDGE CONDITIONS, OR TO SATISFY THE REQUIREMENTS OF THE STEEL STUD DESIGNER OR MANUFACTURERAS OUTLINED IN THE SPECIFICATION.

D. INHEREEX TERMS STIPL STUD OF HEADER FRANCE PROJECT STUDS. THE INTERIORS OF STUDS STIPLS THE DISCUSSION SHALL BE INSLUDED WITH G. ORD OF L. LIFERY FORM MISSIAL TOWN, TYPICAL.

R. LINDER IS, AN MAPOR RETARDER SHALL BE INSTALLED CONTINUOUS, WITH ALL SEARS. LIPPED AND LOI MESTAPED. ALL ROLIGH IN PERETRATIONS OF THE MAPOR RETARDER SHALL RECEITALED WITHA COMPATELE THE OR MASTIC THAT APPORTUTE SAME LINES, OF MODEL MERPHOTECTION AND VISION REPAIRING CONTRICTS. THE WICHTEST SHALL REVIEW THE WARR RETAINERS INSIGHATION FROM TO CONCRETE ELAN RACHIBEST, PROVIDE ELICH TOTALE AND CHECKET SCHOOLSE ELICH REVIEW.

F. PLAN AND ERCTION DIT ALIEUT LIZHO BRICKVENIER BREQUIRE BRIDNIC BRICK THE OFT WEARD WITH IPACING ASI INDICATED INTHESPECIFICATIONS, TYPICA, LACK OF BRICK THE INDICATED GRAPHICALLY, WHETHERPOR CLARITYO RESERVEY OMESION, SO BE NOT RELIEVE THE CHIEFRA. CONTRACTOR OF THE RESPONSESLITYFOR THEIR INCLUSION IN ACCORDANCE WITH THE EPECIFICATIONS.

O. THEOLOGY WALL PLANNING THOUGH MODICATED BRICH PRINCE PLOOP THE OLLY SHALL BESTEPPED LIFTO OCCUR AT RIVER RUDG RATARY SITUATION WHEREA HARD SURFACE (LE A SIZEWAX) ASLESTHEFACE OF THE SULDING. SUCH STEPPED TRANSITIONS SHALL PROVIDED ON CONTINUITY IN THE RASHING ITSER, MEETHOLE SHALL HOT BE LOCATED LOWER THAN ADJOINING BY TERIOR GRADE.

H O BYMOL HOLGARE CASTETONS EMPE, ME BHISTAXIX FOR ADDITIONAL DETAIL AND DIMENSIONS

L CAST 200 NE SHAPRE SHALL RETURN RETURNAROLIND CORNERS, LA NO MITERIO

CONSTRUCTION NOTES: (#PAY TO THERHER ONLY)

GENERAL NOTES:

INITIALL CHIE PIECE OF VIPOR RETIRORS DOWN PACEOF FOLINDATION WALL PRIOR TO BACKPLLING. PROVIDE ENGLISH WIZTH TO ALLOW AM HALLMOF EINCHES OF VAPOR RETARDER TO LAY HORIZONTAL ON TOP OF SOIL AFTER BACKPL LING. LAY HORIZONE'S, VAPOR RETARDED TO RODE AND OVERS AF WITH PRIMETER PIECE. TARE ALL JOINES.

2. MECHANICALLY ATTACH BILL PACHERIED PLEXIBLE PLASHING TO CALL OR STUDE THROUGH THE BHESTHING WITH A CONTRIBUTE STANDERS STEEL THAN HITCH BAS BARRD AT TOWNST HIS COME SHALANT RASHING BHALL SOTTING WITH GOT BAS AND LAPOURS STANDERS STEEL SAFE BOOK WHICH SHALL IS THING BY VIOLE FACE OF BRICKA MUNICIPAL OF IN HICH, HE SECRECATION BY COME SPRANGED AND BRICKA MUNICIPAL OF IN HICH, HE SECRECATION STANDED SPRANGED AND STANDED SHALL SECRECATION SHALL SHALL SECRECATION STANDED SPRANGED AND STANDED SHALL SECRECATION SHALL SHAL DIES MEAR WE'TE ENVITH MASTIC OR MEMBRANE. ANY CHANGE IN FLISHING ELEVATION IN EXCESS OF 1 INCH SHALL BEMADE IN TH RELD PARK CATED SHEET METAL TO PROVIDE SLIPPORT.

INSTALL BRICK WHITE AT 40" OC HORDONTAL TO PROVIDE PRESELVE EQUAL DISTOR IN THE WALL CAUTY, INSTALL WHITE IN THE SAME HORDONTAL COLUMBS.

4. INITIALL DEFLECTION HEADTRACK STTOPOF WALL LINDERSLAB, TYRCAL. PROVIDE AHORIZONTAL BREW, IN THE SYPELMENE STHINDATTHE FORT. COVER. JOINT WITH BLEXISLEFLASHING.

THE CASTSTONE AICHORS TYW, QUARTTY AID STACKING SHALL BE FIRE MALIFACTURENTS IN COMMITCHES COMMITTED STATES.

A. THAI BELLEVING AND E TO INCUMENT WITH THE POWERD REVIEW FRANCISCO APPLY THEAR BARRIER OVER THE REXISE EPLACHING WITH AM HISLAND & INCHES OF DVINLAR

7. SLOPE TOP OF ORDLIT WED TO PROVIDE FOR TIVEDRAINABLE FORTHROUGH WALL

DO NOTFENETRATETHROUGH HALL FLASHING, COORDINATE ANY PRINTING IONE THROUGH THE EXTERIOR WALL WITH THE MAJON

8. WHAP NOOD BLOCKING IN THIRRIP ACHERNIC PLEXIBLE FLAZHING, OWELAPPILLID. APRIED A REARRES AMIN OF E

CONSTRUCTION SUBSYSTEMS:

S1 PREF R. COR CO ICREM B. AB - 250 A GASO - SLABON GRACE (10000) AFOR RESPONDENCE (\$3.000)

PRINTED OUR CONCERNS SLAB SEE PLANS F COMPORTECONCRETE BAS (00:00) STRUCTURA META DECK (00:00) ATRICTURA STEEL PRANCING COLDES

WIT TWICAL BRICK WHIRE NALL ENGING. BIR PIASE!
MCEBRICK (0000) ADJETUR FANCHORE - ER BM C | DOD 00) RIDD XPR BELL ATO H. 7 (1731 00) R. LI DAPPERD A READWER (C 1731 00) R. LI DAPPERD A READWER (C 1731 00) ATMINISTRAÇÃO (DR 4000)

TYPICAL METAL PAREL WALL BY STIME SIME PLANSE CENTRIACCHICEPTERRIES CO. 600 W. M. ICACL. INS FOR RUBONE AND MICROSHAM CORNERS. AUDD FOR HALL ANDN - 7 (073100) ALLIDAPRIED A REARRISK (173700) CLASSMATSHINTHNO PERCO ATMR. STIDS (\$4 com)

TYPICAL ROOPS/STRIM SHE HASSI THE RECORD ACTIC POLYCLAP IN ROOPING EVENTEM (DTM 20). 10" COMPLEO AND (0" NOS). OF COME NO MID (FINDS)
POLYRICCHAMINUF ROAND HIBLATION 4 12" (FINDS)
PERSONALINUF ROAND HIBLATION 4 12" (FINDS)
PERSONALINUS RITER. PRAMINO (IN 100)

1613.00

DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORMING ARTS CENTER

MULTI-USE DEVELOPMENT Daniel Island, South Carolina

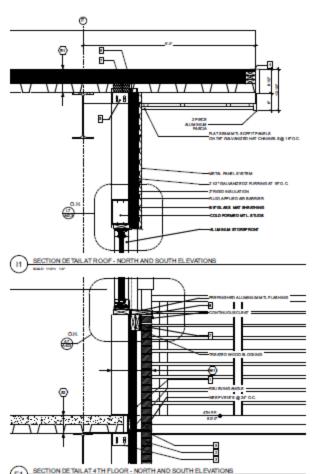


Preliminary DRB 10516 Submittal

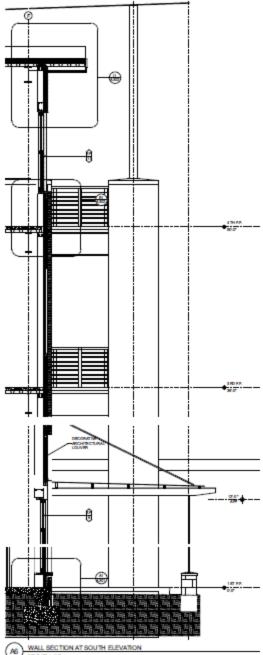
WALL SECTION & DETAILS - EAST

A301

WALL SECTION - EAST ELEVATION



(E1)



AGRECIA TO

CONSTRUCTION NOTES:

MECHANICALLY ATTACH SILL PACHERIED PLEXIBLE RABBING TO STUDST-HIGUISH THESHEATHING WITH ACCRITINGUE STANLESSETS IL TERMINATION MAY SEALED AT TOP WITH SUCCESS SEALAND, PLASHING SHALL SOTING INTO MORE AS REGIONAL DUP OVER STANLESS STEEL DRIF STORE WHICH SHALL SOTTED BEYOND RICK OF SHICK A MANUALINGS IN NCH. SESSESSIC SCHOOL SECTION OF DIS. SERVINGS AL DIES MEAN META, EINTH MIRITIC OR MIMISTANE, ANYCHARDE IN FLATHING ELEVATION IN EXCESS OF 1 NICH BHALL SEMIZER IN TH RELD WARR OUTED SHEET METAL TO PROVIDE SUPPORT.

INSTALL BRICK WINTS AT 42 YOC HORIZONTAL TO PROVDEPRISELING FOLIAL DISTON IN THE WALL CAVITY: INSTALL WINTS IN THE SAME HORIZONTAL.

INSTALL DERIFCTION HEADTRACK ATTOPOF WALL LINDERSELAS, TYPICAL PROVIDE AHORIZONTA, BREIK IN THE GYPILM EMEXTHINGATTHS POINT, COVER JOINT MET N. REXIS. BY PLANNING.

 PROVIDE TRIBATED 2NEWD CO HALLER IN STACKED CONFIDERATION AT ROLOFEDGE (HEIGHT AS REQUIREDT O MATCH BISSLATION THICKNESS), ATTACH TO STREET DECK. SECURELYWIN APPROPRIES NATHEREAPPROXIMERY 30 HOHESCO. MAGNER END JOHNS.

WALFREI WHIG AND ETO SHEATHING WITH SELF-ACHIRED REXIS. EFLASHING. APRY THEAR SHEATER OWN THE REXIS. EFLASHING WITH AMERICAN OF 4 INCHES OF CHIRECO.

4. OVERLIMENTATION WITH SELF-ADHERSD (OR RUID APPLIED AS SAMES SHALL EXTEND TO THE LINDERSON OF THE ROOF DECK.

7. PLL DECK PLITTER WITH CLOSECELL SPRAYFORM INSLIATION (WITHTHERMAL BARRIERS TO PROVIDE THERMAL BINGLISPS CONTINUES.)

8. WEAP WOOD BLOCKING WITH SIRP ADMERSO PLEXIBLE FLASHING, BYTHID 6 INCHESMINALMON PACEOF EMEXTHING, EMEXY COMPATRIES FLID APPLIED AS BARRIES COMPATRIES FLID APPLIED AS

CONSTRUCTION SUBSYSTEMS:

(12) PPM PLOOR CONCRETESIAN SEEP WAS SUCCESSION WAS DECK DO (00) ATRUCTURAL STIFFL FRANKS (DECOM

TYPICAL BRICK VINIBIN WALL SYSTEM - SIM PLASSI PACE MICK (\$1200) ADJUSTABLEANCH (N. EFEMIC (\$200) AND XPENELLATION (F (\$70 00) FILID APR SD AR SAARS) (\$720 0) CLASS ME SHARMING ME (SHEET)

TYPICAL MEAL PARE, WALLEYS THE BERTHADS CHARLA CONCEPT REPRESENTE M MICHOLINE EXTRUS ONE AND MICROSPAN CORPUTA 2 157 GAY WRITCALLY RURAND AT WYOL. AND PROPRIETATION 27 (87 10) FILID APR ID AR MARIE (1727 6) OLAZ MO SHEANNO (1830 Q ATTRICTURE (DAGGED)

(R) TOTAL SOOP BY THE SERVICES CAL BOOP SYSTEM - SER FILADOS "HERRADOR MATTER POLYCOPER PRO ROOM DE SYSTEM (STR - CO) - 10" COLVER BOURD (STREET) FOLUMED CHARACHER STREET OF MATERIAL ATTOR - 4 10" (ST FORE) - STRUCTURE, ATTER IN CROCK (SE 3 100) - STRUCTURE, ATTER IN PROACHED (SE STORY)



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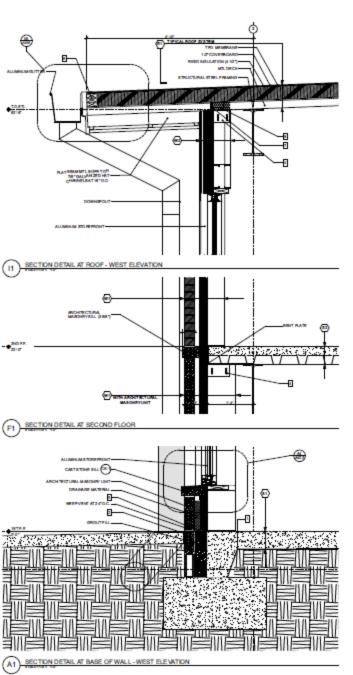
DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORMING ARTS CENTER MULTI-USE DEVELOPMENT

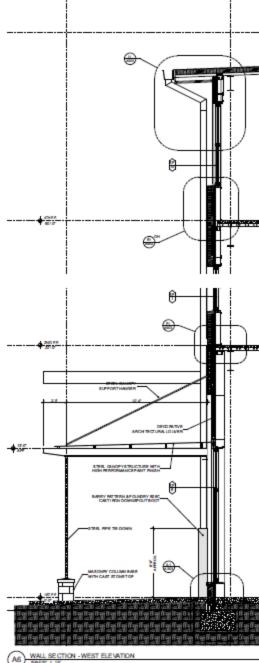
Daniel Island, South Carolina



Preliminary DRB 10516 Submittal

WALL SECTION & DETAILS - SOUTH





CONSTRUCTION NOTES:

 NETAL CHE PRICE OF VAROR RETWOER DO Nº PACE OF FOLIOXI DN WAL FRICE TO BACKEL SO. PROVIDE BOULDS WICH TO LOT OF BUILD AND BALLANCE IS SICHED. OF VAPOR RETWOERT O LAY FORDISCHAL ON TOP OF 2014 AFTE BACKEL BACK HORIZONTA, VAPOR RETWOERT O FORE AND OVER, AF WITH PRIVATER PRICE. TAPE ALL JOINE.

 ANY EXPORTO JOINT MARRIALATIWA, LESTENDR ELABALISCTURE BHALL SERRILD DOINN 10 BOOF PROMITO TOPOP ELAB AND CLOSED WITHIN BOND BREAKER LINCON TREP PIC EXPLIER.

3. MECHANICALLY MAD REPLACEMENT FURBLE PLASHED TO TITUDETHOUSE PLASHED TO TITUDETHOUSE PLASHED TO TITUDETHOUSE PLASHED THE REPLACEMENT OF THE PLASHED T

 NETAL DER ROTION HEAD TRACK ATTOPO FINAL LINDER BAB, TYPICAL PROVIDEA HORIZONIA, BERAN IN THE SYMPLIMISHED HIS ATTHEPOINT, COVER JOI OF WITH R. DOBLEY LABRISH.

S. THE CASTSTONE ANCHORS TYPE, QUANTITY AND EFACTION SHALL BE FIRE MANUFACTURERS RECOMMISSION FOR SHALL REQUIREMENTS.

E. PROVIDE TREATED 2X4 WOOD HALERS IN EXCHED CONFIDENCE ON ATRICE FROM (HIBSH TAX REQUIRED TO MATCH INSULATION THICKNESS). ATTACH TO STIFL DECK ERCLISELYWITHAPPROPRIATE PARTHERSAPPROXIMATED 26 INCHESIO C. STADDER END JOINTS.

7. GYPLIM ENSCHING WITH ERF ADMIRED OR RUID APPLIED A REARRER ENAL EXTENDED THE LINERED BY THE RIO FORCE.

 PLLDECK PLITTE WITH CLOSE GILL SPRAYFORM INSULATION (WITH THERMIS. BARRIER) TO PROVIDE THERMAL ENVELOPE CONTINUETY.

8. ELOW TOP OF GROLF BID TO PROVIDEPOSITIVE DRAMAGE FOR THROUGH HALL FLABRISM.

15. DO NOTFENETRITE THROUGH WALL RAISHING, COORDINATEANYPENETRATIONS. THROUGH HTHREXTRE OR WALL WITH THE MAJOR.

CONSTRUCTION SUBSYSTEMS:

(S1) PRETFLORE CONCRETERIAS - SERVICES (- RAR ON ORACE (DIXED) - STREET RE IF CHICAGON (DIXED) - WARR RETMORE (DIXED)

(12) UPW FLOOR CONCRETERIAN SHEP WASH FCOMPORTS CONCRETE BLAN (SEED) STRUCTURAL STRUCTURAL SCOOL STRUCTURAL STRUCTURAL SCOOL

WINDOWS PROCESS WALL STORM - SERVICES

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DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORANG ARTS CENTER MULTHUSE DEVELOPMENT

Daniel Island, South Carolina



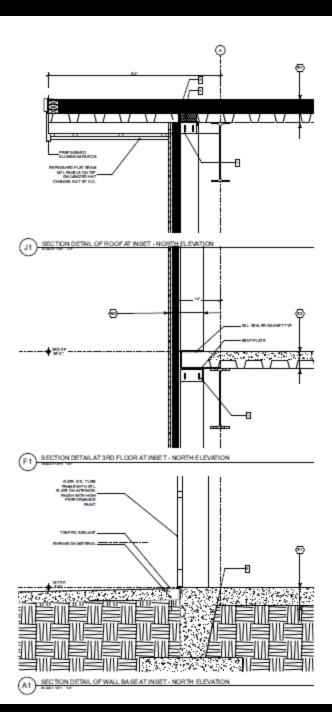
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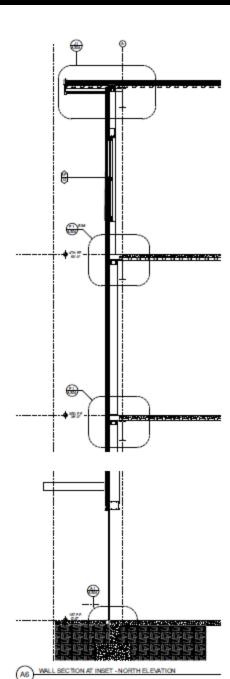
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WALL SECTION AND DETAILS - WEST

A303

- N. M. 10. 00





CONSTRUCTION NOTES: (APRLY TO THEIR HERE DRAY)

NETALL DEFLECTION HEADTRACK ATTOPOF WALL LINDERSLAS, TYPICAL.
 PROM DE AHORIZONTA SINSKI IN THE OPPLIASHEATHMINIST THE POINT. COVER.
 JOINT WITH RESIDE SPILASHIO.

2. PROVIDE TREATED 2N, NO CO HALLER IN STACKED CONFIGURATION AT RD OF FORE (MIGHTAE RIGLIFEDTO MATCH BELLATION THICKNESS), ATTACH TO STIEL DECK SEGURELYWIN APPROPRISE MATERIERAPPROXIMITELY 21 INCHESOC. STATISER SHOL JOHNS.

3. OVERLING HEATHING NETH SELF ADVERSO | OR RUID AFFLIED, AR BARRIER SHALL EXCEND TO THE LIDERTRIC OF THEROOF DROX. SHALLA I JOINT PRINTING ON.

4. PLL DECK PLITES WITH CLOSECELL SPRAYFORM INSLATION (WITHTHRIMAL BARRIER) TO PROVIDE THRIMAL ENVELOPE CONTINUITY.

B. INITIALL CHE PIECE OF VIPOR RETIRIORS DOWN PACEOF POLISION TION WALL PRICE TO BACKFILLING. PROVIDERSOLICH WITH TO ALLOW AMENILIE OF BIOHES OF VIPOR RETARDER TO LIV HORIZONTAL ON TOP OF SOL AFTER BACKFILLING. LIV HORIZONE A VIPOR RETARDER TO BOOK AND OLVERLEY WITH PERSON THE FIELD. TAP

CONSTRUCTION SUBSYSTEMS:

(S1) PRETFLOOR CONCRETESLAR - SERANIASE 1 - SLAR ON ORUGE (S1300) - STWL RE NF ORCEMENT (S0000) WATER RETAILORS (SEE SEE

(32) UPP IN PLOOF CONCRETEGIAS: MEP WASHINGTON CONCRETE CONCRETE BLAS (MICE) STRUCTURAL METAL DRCK (00000) STRUCTURAL STRIP FRAMES (0000)

TYPICAL METAL PARKEL BALLETOTHE METALON
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1613.00

DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORMING ARTS CENTER

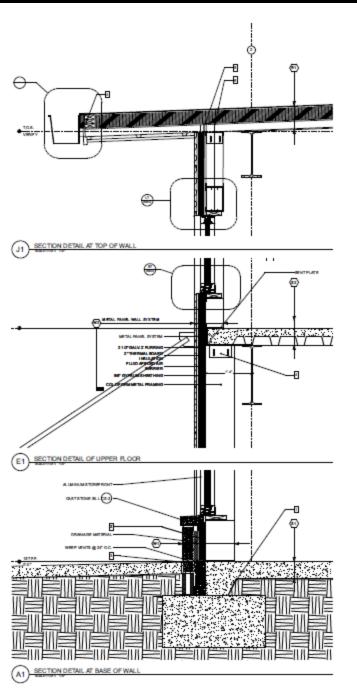
MULTI-USE DEVELOPMENT Daniel Island, South Carolina

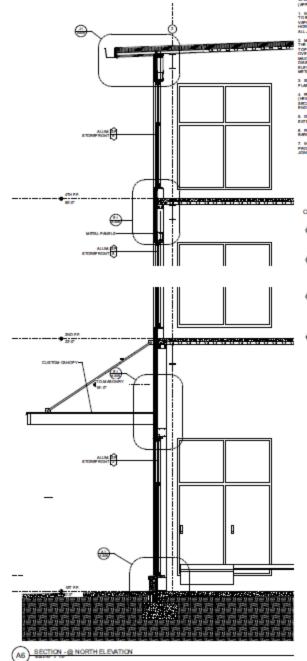


Preliminary DRB 10516

Submittal

WALL SECTION & DETAILS - NORTH





CONSTRUCTION NOTES: (PRY TO THE SHIPTO BY)

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DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORMING ARTS CENTER

MULTI-USE DEVELOPMENT

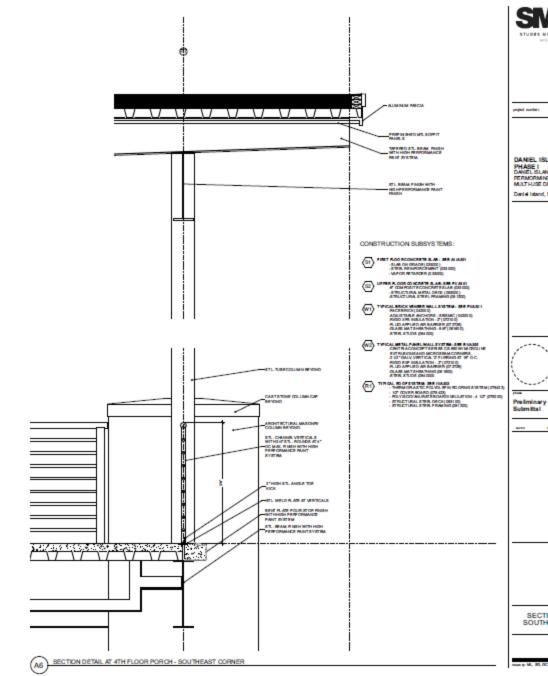
Daniel Island, South Carolina



10516

Preliminary DRB Submittal

WALL SECTION & DETALS -NORTHWEST CORNER





1613.00

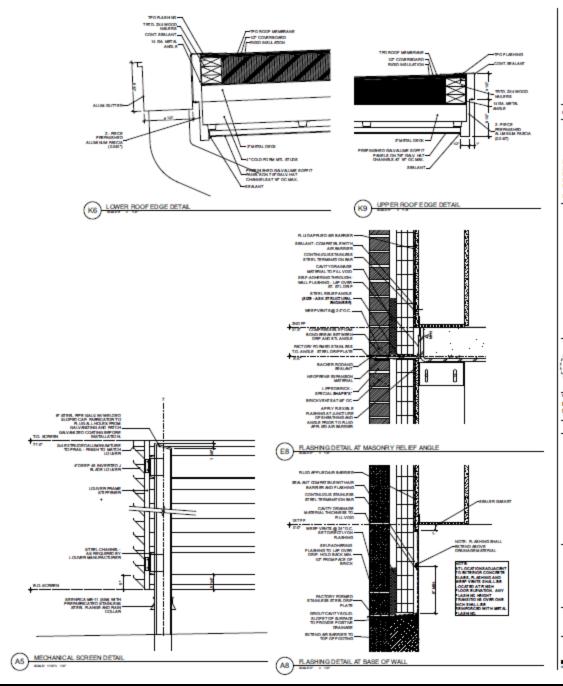
DANIEL ISLAND SQUARE PHASE I DANIEL SLAND PERMORMING ARTS CENTER MULTI-USE DEVELOPMENT

Daniel Island, South Carolina



Preliminary DRB

SECTION DETAILS -SOUTHEAST PORCH





1613.00 pojed namer

DANIEL ISLAND SQUARE PHASE I DANIEL ISLAND PERMORMING ARTS CENTER MULTI-USE DEVELOPMENT

Daniel Island, South Carolina



Preliminary DRB Submittal

ENLARGED DETAILS

Agenda Item 3:

20 Fairchild Street

Request Conceptual approval for new construction of a retail building as per documentation submitted.



CONTEXT MAP



RCHITECTURE

FAIRCHILD STREET STUDY

APARTMENTS & RETAIL



APARTMENTS & RETAIL



FAIRCHILD STREET STUDY

APARTMENTS & BETAIL



VIEW PROMI-AM EAST LOOKING SOUTH



FAIRCHILD STREET PROPOSED DEVELOPMENT



6 0 0 0 Central State 6 0 0 0 Central State 6 0 0 0 Central State FAIRCHILD STREET STUDY

225 SFD UNITED, LLC

APPLICANT PRESENTATION

Fairchild Retail

A retail facility on Daniel Island 20 Fairchild Street Charleston, SC

Area Calculations; Site Information;

Starbucks = 2,820 sf TMS 275-00-00-269 DI-TC

Spirits = 1,381 sf Flood Zone = AE 13 and 14

Bin 526 = 5,969 sf Lot Area = 61,554.56 sf

Total Bldg. = 10,282 Area covered by building = 10,282 sf



Existing Streetscape

VACANT LOT PROPOSED RETAIL STRUCTURE REFUEL (under construction)







FAIRCHILD STREET STUDY

z North)

Scale: 1/8" = 1'-6

APARTMENTS & RETAIL.



APARTMENTS & RETAIL



FAIRCHILD STREET STUDY
(Looking South) Scale: 187 -

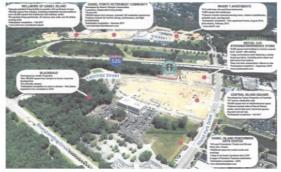
VIEW FROM 1-526 EAST LOOKING SOUTH



APARTMENTS & RETAIL



FAIRCHILD STREET PROPOSED DEVELOPMENT



Design Ideas



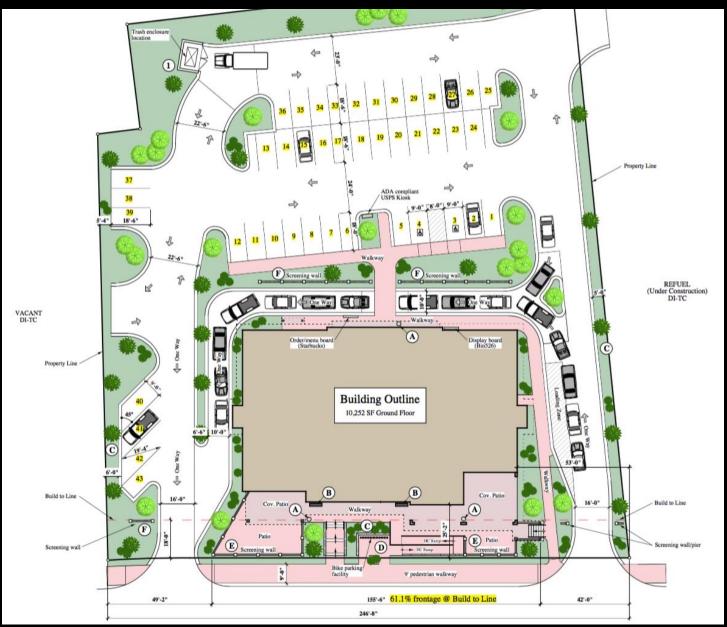








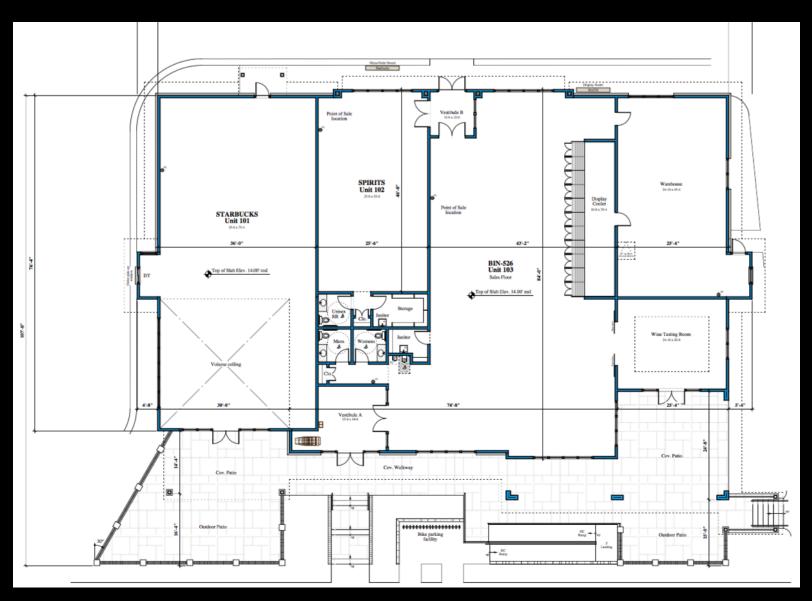
Site Plan of 20 Fairchild Street



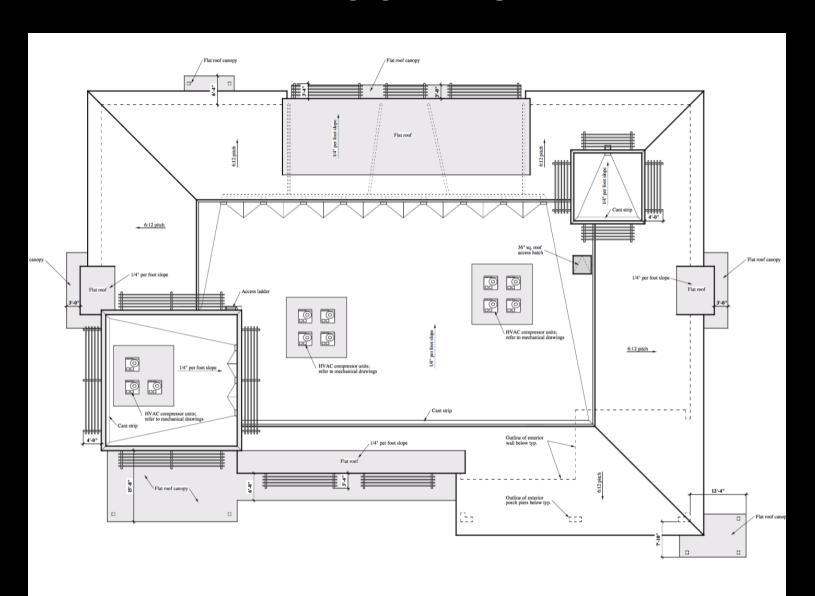
Conceptual Landscape Plan



Floor Plan



Roof Plan



South and East Elevations





North and West Elevations





3D Model looking East



3D Model looking North



3D Model looking South



3D Model looking South



Street View



Street View



Street View



THE LOGO





Great use of fenestration; A stained NuCedar shiplap veneer at building corners at Starbucks drve-thru and BIN 526

Cool corner tower concept; The cornerstone of the building helps define "Starbucks"

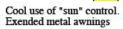




Nice veneer cladding material; This helps break up massing. At "Starbucks" and abutting BIN 526



Another Starbucks tower concept; Note that the use of concrete block spells out "simplification"





Out-door seating and patio concept; Note that the use of concrete wall which provides privacy and separation from adjacent street

Cool use of "sun" control. over exposed patio incorporating a "trellis" effect

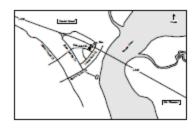


Another method of partially covering the out-door patio









VICINITY MAP

20 Fairchild Street
TMS 275-00-00-269 / DI-TC Berkeley County
"Daniel Island"
Berkeley County
City of Charleston. South Carolina

PROJECT CONSULTANTS ARCHITECTURAL FIRM

To JOSEPH MAN AND ASSAULT AND

GENERAL CONTRACTOR

GFS Country room Junes Garvey, GC 2011 Serves Perma Dr., Balle G 2011 Charleson, SC (1995) at (MA) 913-1860

LAND SURVEYOR Thomas and Plants (EL James Corts Title) 10 February 81 Title)

LANDSCAPE ARCHITECT

To Be Selected

The 20 Remaking Co. So James Browking, PM, 3450 Transact Science See Int Personal, SCI (1988) ed. (847):445-3580

To Be Selected

STRUCTURAL ENGINEER

ELECTRICAL ENGINEER

MECHANICAL ENGINEER

PLUMBING ENGINEER

INDEX of DRAWINGS

SHIERT NUMBERS

AGLI Cross Stars
AGLI Sign Plan
AGLI Sign Plan
AGLI SAGA Assemble Startes

CODE RESEARCH CONSULTANT
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CIVIL ENGINEER

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PROJECT INFO.

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Section 101.3: Address identification. New and mixing haldings shall be provided with agreemed soldense.

Takin 101.3: Addressive Statisting Weight Advent Grain, non-sprint level, Type 101.0. 101.

Table 104.4: Alterable Number of Scotin Altern Crash, non-sprinklessel, Type ESS, 1 decise. Table 104.3: Alterable Arm Paster in Expan Post, one sprinklessel, Type ESS, 12,505af

Table 1864: Registed Separation of Compansion. Between 16 compansion, com-

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TABLE 100 1.5 Marines Floor Arm Allersons per Compan, One 16 Green Workson 100 green.

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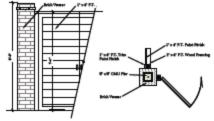
DRB Set 10/17/2016 - Conceptual City Project ID# XXFabridati St-1



AC-1.0

Proper 29 Pales St. D.

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(B) Billie Rack Detail 1-H Springerson



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South Carolina 811

Cornel Department (see a) Group M. Contraction Type III

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RCHITECTURE



N. P. Deg (November 1988)

225 SFD UNITED, LLC Fairchild Retail

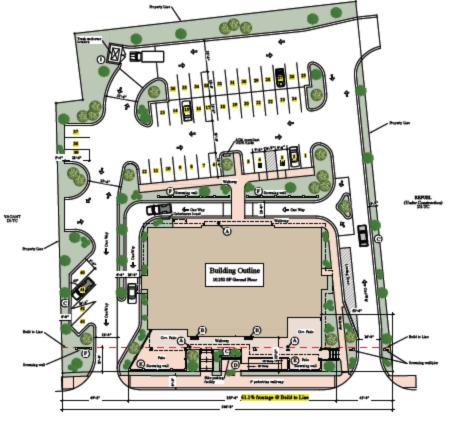
20 Fairchild Street
"Daniel Island"
Giy of Charleston, South Carolina

SITE PLAN

10/17/16

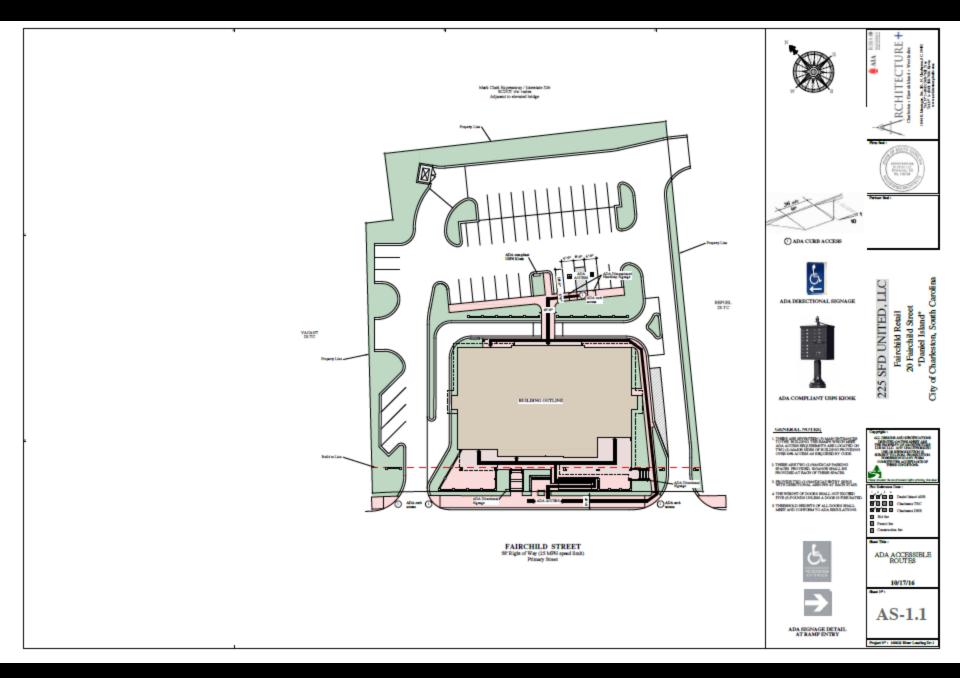
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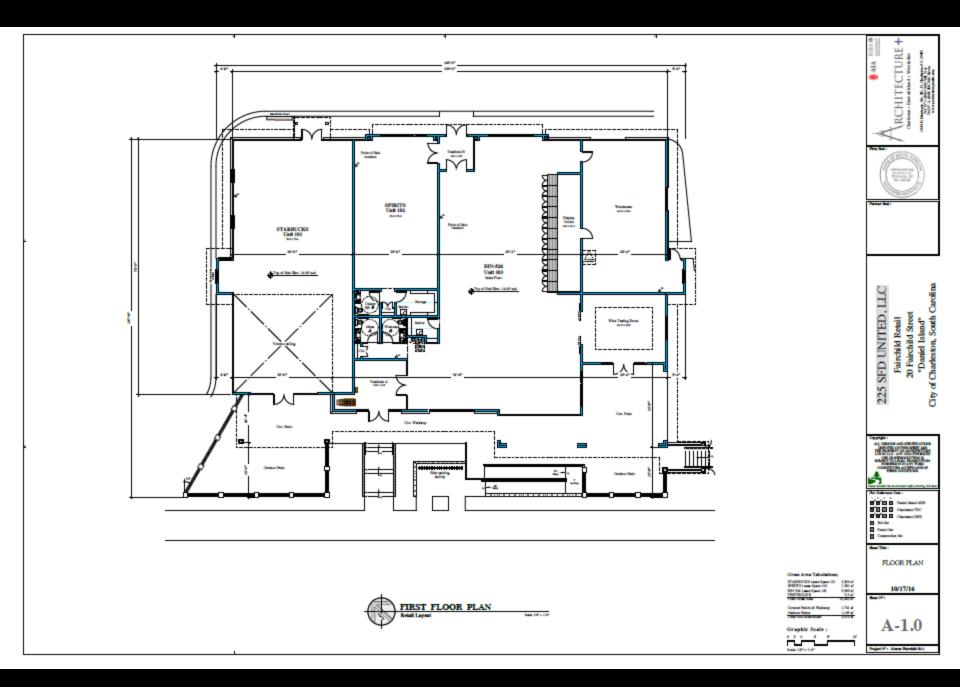
Mark Clark Supervisor / Spinorists 506 SCENE of tracker A Spinorist of course beings

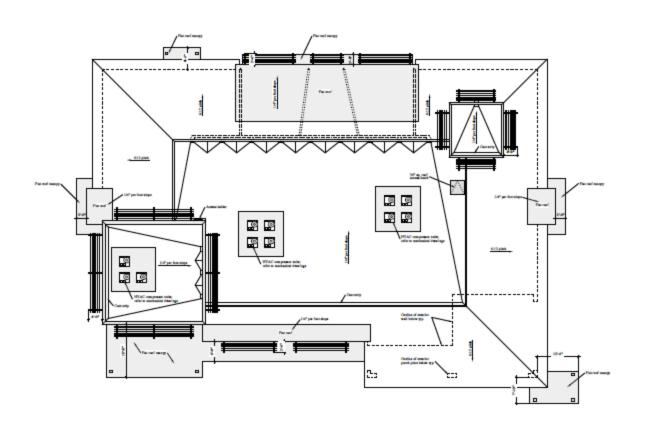


FAIRCHILD STREET SE Right of Way G5 MPH speed limit) Princey Street











225 SFD UNITED, LLC

Fairchild Retail
20 Fairchild Street
"Daniel Island"
Gty of Charleston, South Carolina

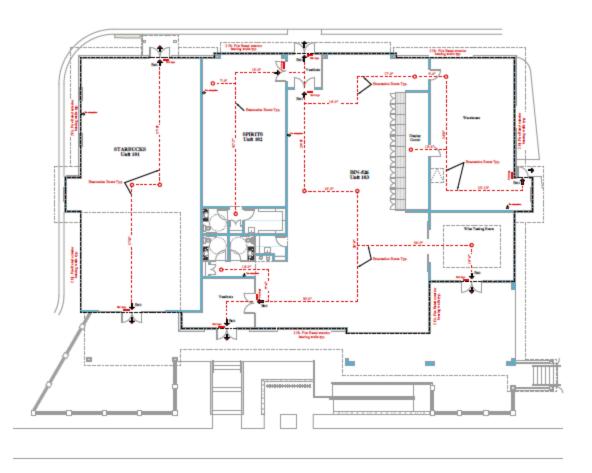
RCHITECTURE +

Manager N. N. Commercial Street, No. of Comm

ROOF PLAN

10/17/16

A-1.1



FAIRCHILD STREET 50' Right of Way (25 MPH speed limit) Primary Street





RCHITECTURE

NAME OF THE OWNERS OF THE OWNE

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20 Fairchild Street
"Daniel Island"
Giy of Charleston, South Carolina 225 SFD UNITED, LLC Fairchild Retail

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Not informed Date:

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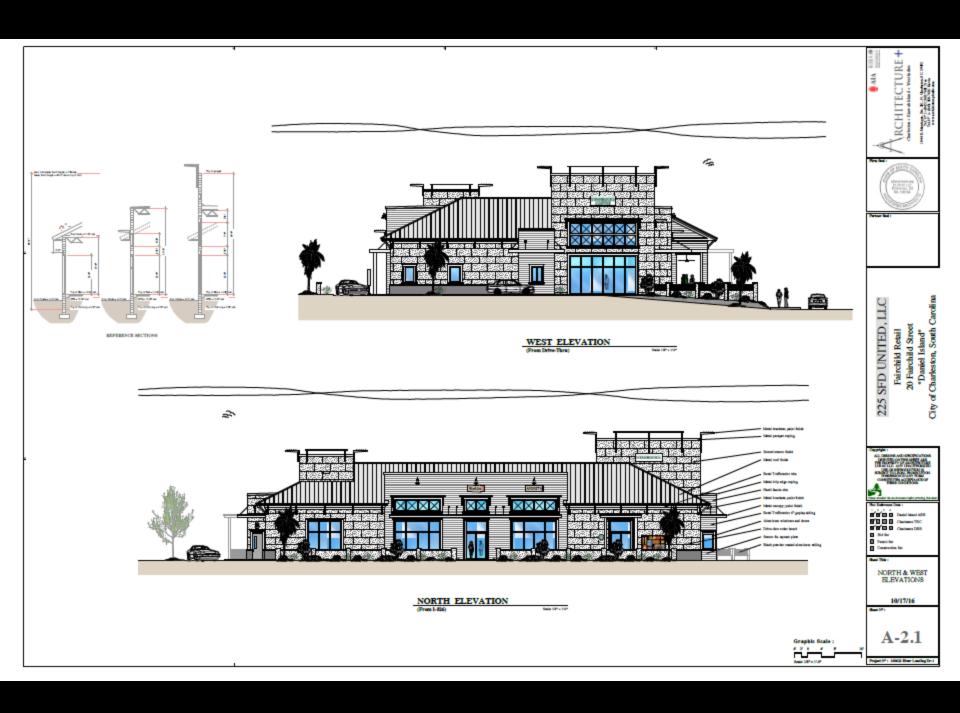
FIRE PROTECTION PLAN

10/17/16

A-1.2

Graphic Scale:





VACANT LOT PROPOSED RETAIL STRUCTURE REFUEL (sader construction)



(Lasting North) The IP-100

APARTMENTS & RETAIL



APARTMENTS & RETAIL



FAIRCHILD STREET STUDY

VIEW PROMING SAFE LOOKING SOUTH



APARTMENTS & RETAIL



FAIRCHILD STREET PROPOSED DEVELOPMENT



RCHITECTURE+



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225 SFD UNITED, LLC Fairchild Retail City of Charleston, South Carolina



Districts
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FAIRCHILD STREET STUDY

10/17/16

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Project VI + 16000 Blood Leading To

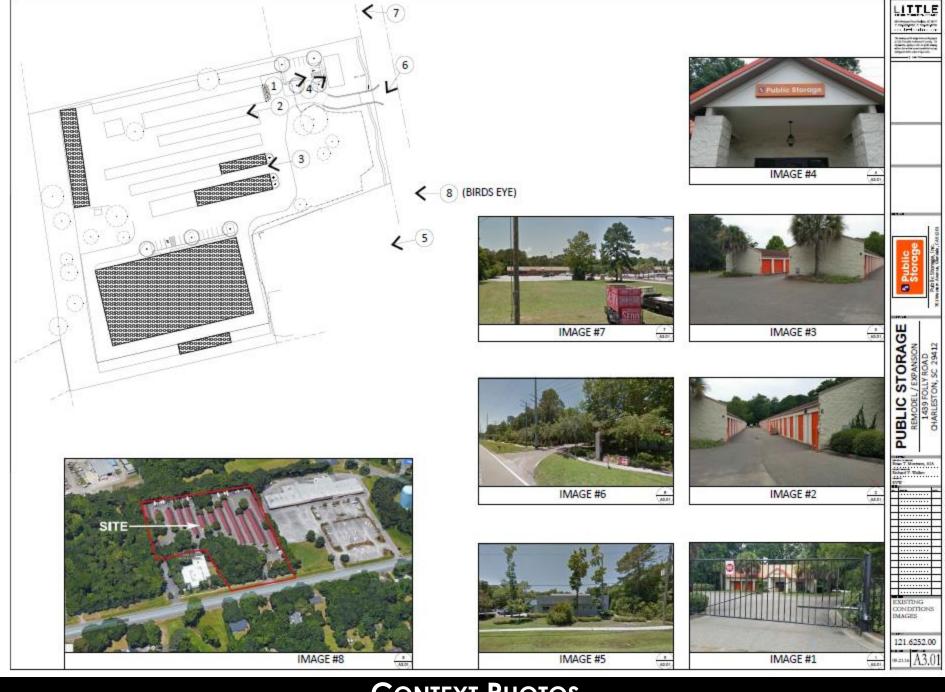
Agenda Item 4:

1439 Folly Road

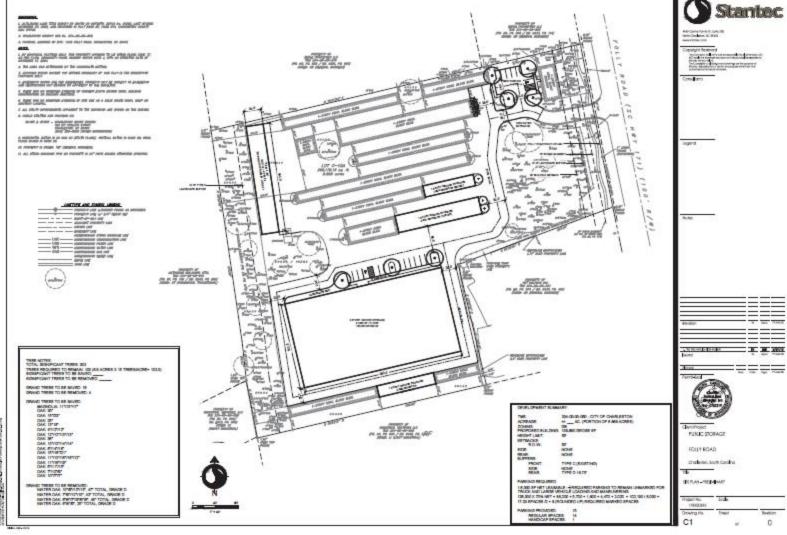
Request Conceptual approval for new construction of a 3 story storage building, a 1 story storage building and additions to 3 existing storage buildings as per documentation submitted.

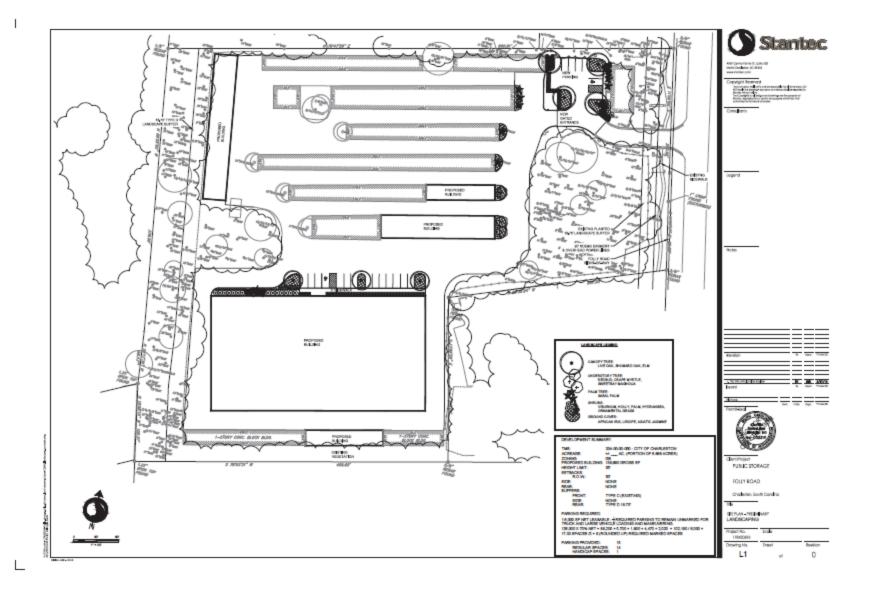


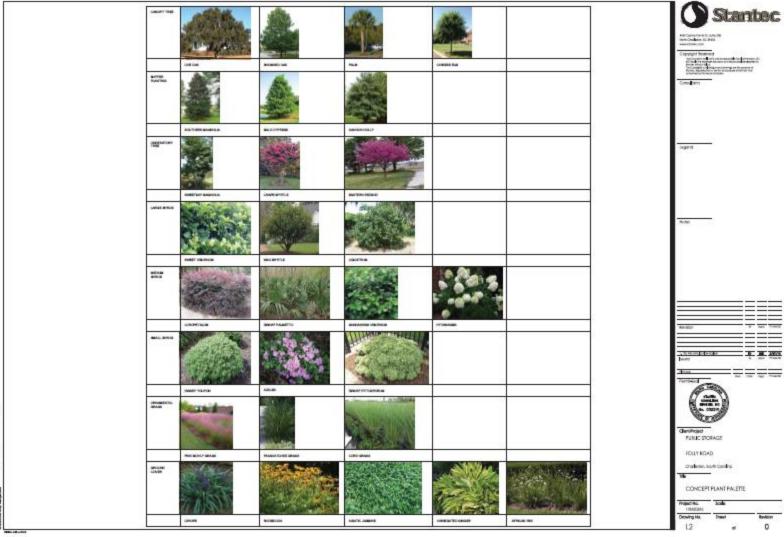
CONTEXT MAP

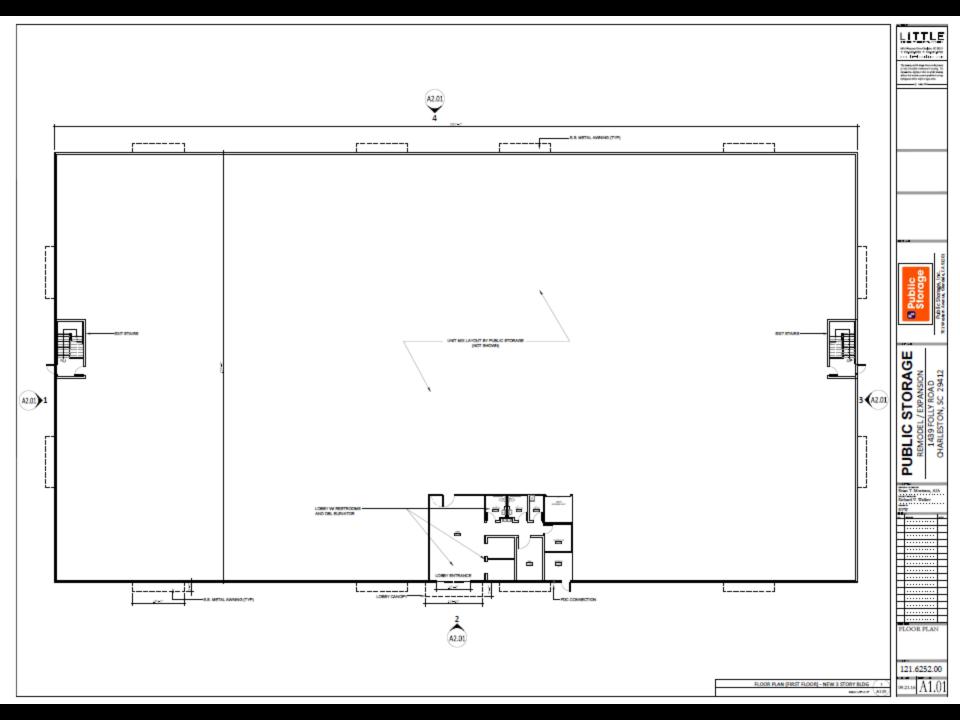


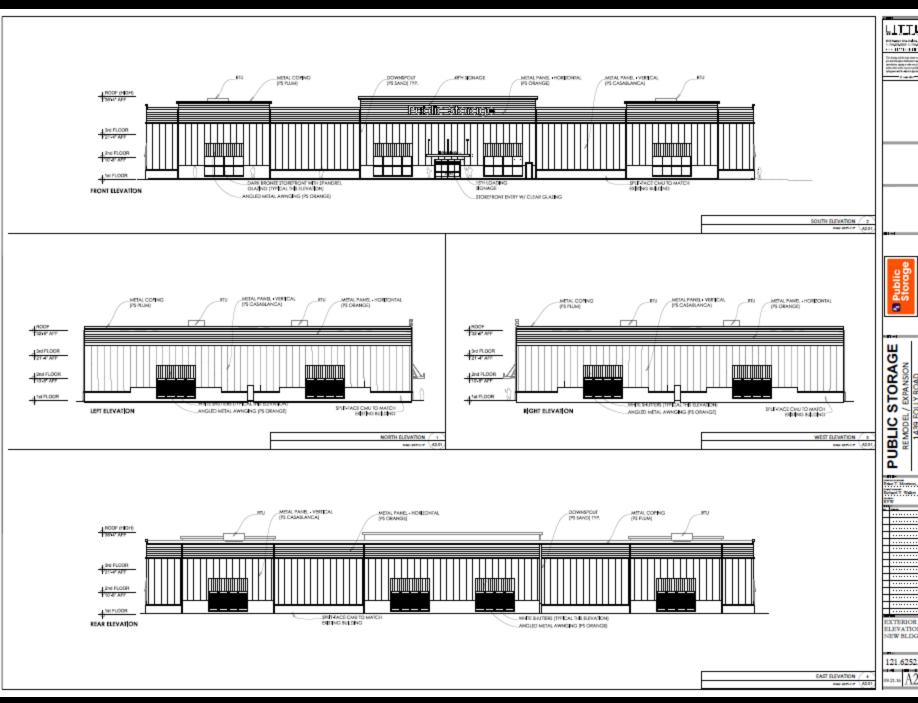
APPLICANT PRESENTATION











- 11771 - 018 - 1-1

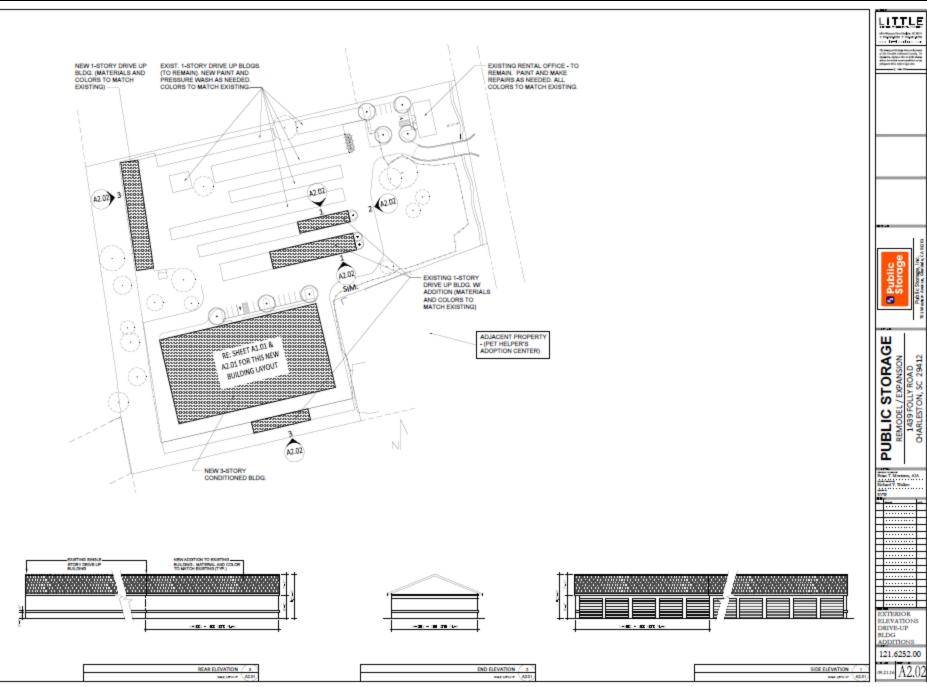
UBLIC STORAGE REMODEL/ EXPANSION 1439 FOLLY ROAD CHARLESTON, SC 29412

Reign T. Moreison, ALA. Robard V Taller EVE

EXTERIOR ELEVATIONS NEW BLDG

121.6252.00

»элы A2.01

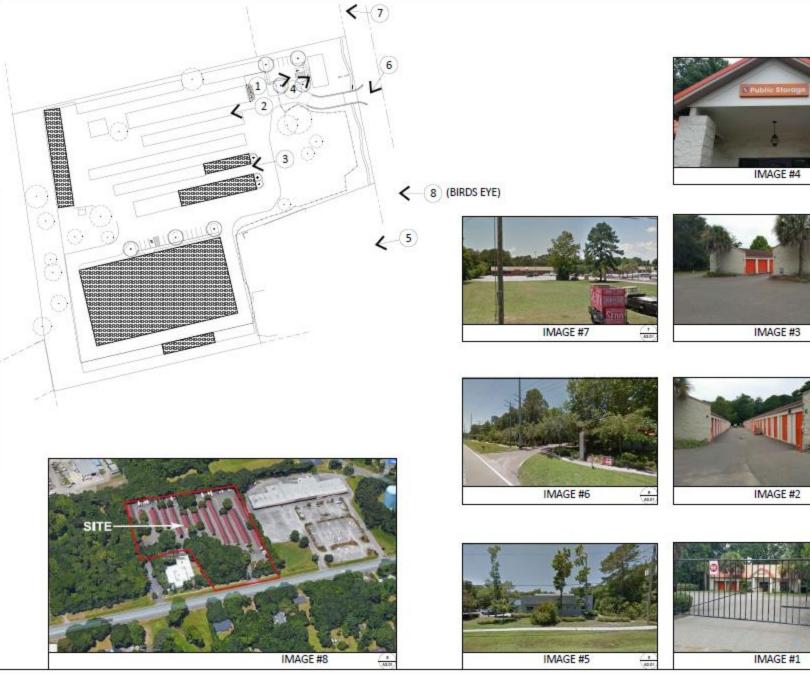


Rear T. Moreton, ALA Richard V. Walter

EXTRUOR ELEVATIONS DRIVE-UP BLDG

ADDITION 121.6252.00

09.21.16





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2 (888)



PUBLIC STORAGE
REMODEL/EXPANSION
1439 FOLLY RICAD
GHARLESTON, SC 29412

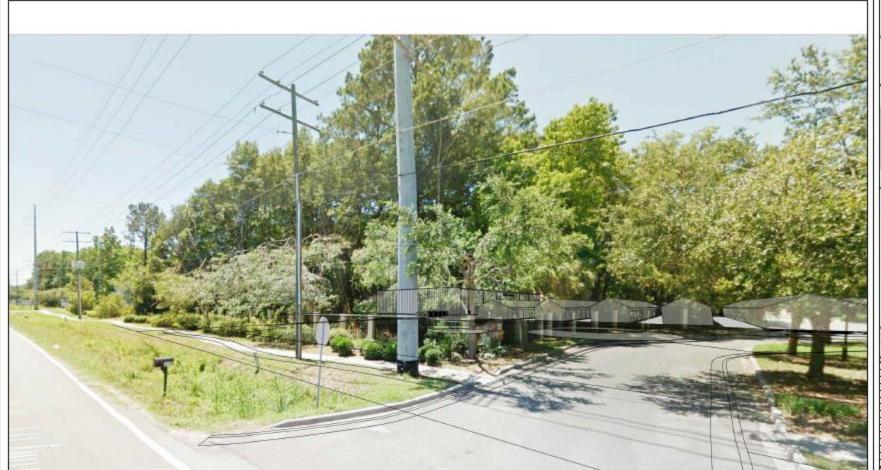
EXISTING CONDITIONS IMAGES

121.6252.00



PUBLIC STORAGE REMODEL/ EXPANSION 1439 FOLLY ROAD CHARLESTON, SC 29412

121.6252.00



PUBLIC STORAGE REMODEL/ EXPANSION 1439 FOLLY ROAD CHARLESTON, SC 29412

STREETVIEW OVERLAY PERSPECTIVE

121.6252.00







PUBLIC STORAGE - CHARLESTON, SC FOLLY ROAD SEPTEMBER 30, 2016











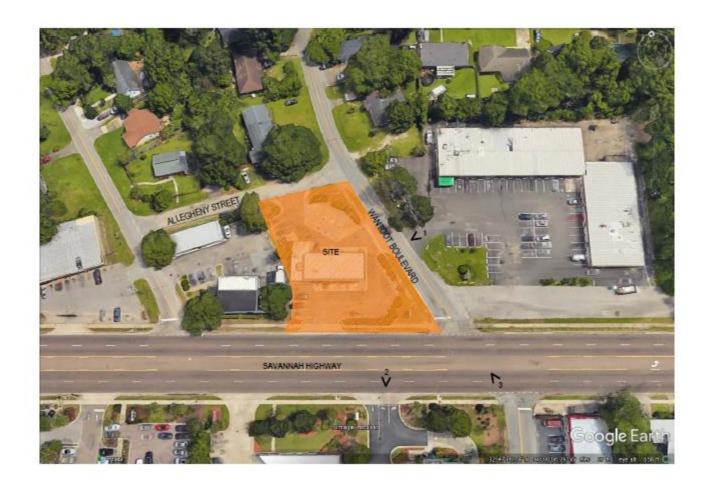
Agenda Item 5:

1406 Savannah Highway

Request Conceptual approval for new construction of a convenience store/gas station as per documentation submitted.



CONTEXT MAP





at Savannak Highway & Wantoot Boulevard Charleston, South Carolina









SITE - VIEW 1 - WANTOOT BLVD. TOWARDS SITE



SITE - VIEW 2 - SAVANNAH HWY. ACROSS FROM SITE



at Savannah Highway 5 Wantoot Boulevard Charleston, South Carolina









SITE-VIEW 3-SAVANNAH HWY. TOWARDS WANTOOT



at Savannak Highway & Wantoot Boulevard Charleston, South Carolina







APPLICANT PRESENTATION

VGO GAS STATION & CONVENIENCE STORE

CHARLESTON, SC

DRB CONCEPTUAL REVIEW -NOVEMBER 7, 2016







LOCATION MAPS

OWNER:

VGO HOLDINGS, LLC 501 MOSSY LEDGE LN SIMPSONVILLE, SC 29881-3712

ARCHITECTURE & LANDSCAPE ARCHITECTURE :

SGA ARCHITECTURE 804 MEETING STREET, SUITE 103 CHARLESTON, SC 29403

CIVIL ENGINEER:

RYAN SANDS, PE/CCAD ENGINEERING CHARLESTON BRANCH P.O. BOX 21786 CHARLESTON, SC 29413

SHEET INDEX

001COVER SHEE
001 SHEET INDE
001 SITE - AERIAI 002 SITE - PANORAMA PICTURE: 003 SITE - PANORAMA PICTURE:
100 PROPOSED SITE PLAI 101 FLOOR FLOOR PLAI
GO1
G11STREETSCAPE
201PROPOSED ELEVATIONS
220 PERSPECTIVES 221 PERSPECTIVES 222 PERSPECTIVES
400 MATERIALS

SHEET INDEX

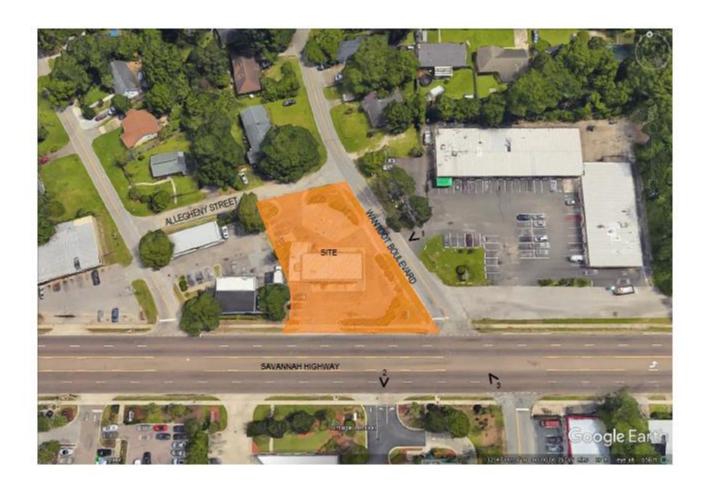






at Savannah Highway & Wantoo Boulevard Charleston, South Carolina







at Savannak Highway 5 Wantoot Boulevard Charleston, South Carolina









SITE - VIEW 1 - WANTOOT BLVD, TOWARDS SITE



SITE - VIEW 2 - SAVANNAH HWY, ACROSS FROM SITE

SGA

ARCHITECTURE



at Savannak Highway & Wantoot Boulevard Charleston, South Carolina





SITE - PANORAMA PICTURES





SITE-VIEW 3-SAVANNAH HWY. TOWARDS WANTOOT

SITE - PANORAMA PICTURES

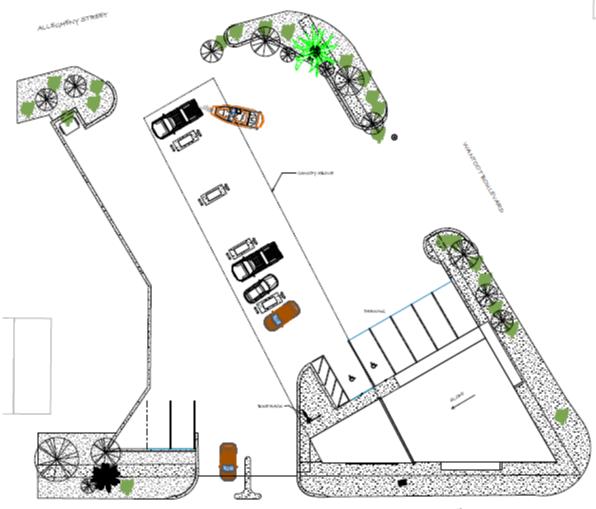




at Savannah Highway 5 Wantost Boulevard Charleston, South Carplina





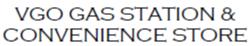


SAVANNAH HIGHWAY



PROPOSED SITE PLAN
SCALE 1 = 10

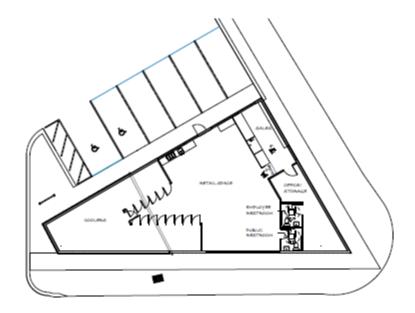




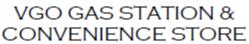
at Savannah Highway 5 Wanteet Boulevard Charleston, South Carolina











at Savannak Highway 5 Wantoot Boulevard Charleston, South Carolina



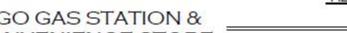




AERIAL 1 - VIEW FACING WEST



at Savannale Highway 5 Wantoot Roulevard Charleston, South Carolina





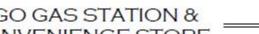




AERIAL 2 - VIEW FACING EAST



at Savannain Highway 5 Wantoot Boulevard Charleston, South Carolina







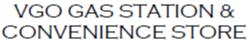


STREETSCAPE - SAVANNAH HWY. LOOKING NORTH



STREETSCAPE - WANTOOT BLVD. LOOKING EAST

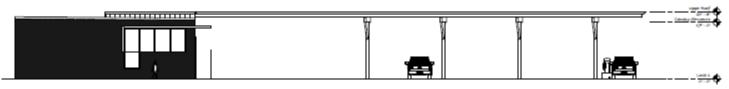




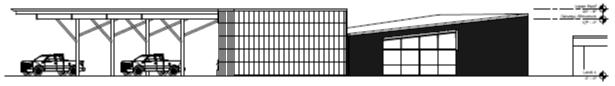
at Savannak Highway 5 Wantoot Boulevard Charleston, South Carolina







WANTOOT BLVD. - EAST ELEVATION



SAVANNAH HWY. - SOUTH ELEVATION



WEST ELEVATION



WEST ELEVATION

VGO GAS STATION & CONVENIENCE STORE

> at Savannak Highway & Wantoot Boulevard Charleston, South Carolina





PROPOSED ELEVATIONS





PERSPECTIVE 1 - SAVANNAH HIGHWAY FACING NORTH



PERSPECTIVE 2 - SAVANNAH HIGHWAY FACING EAST





at Savannak Highway 5 Wantoot Boulevard Charleston, South Carolina









PERSPECTIVE 4 - SITE ACCESSFROM WANTOOT BLVD





at Savannak Highway 5 Wantoot Boulevard Charleston, South Carolina





BUILDING



RUNNING BOND BRICK







STOREFRONT-EXAMPLE



CANOPY-EXAMPLE

LANDSCAPING





GROUND COVER

MATERIALS





at Savannah Highway 3 Wantos Boulevard Charleston, South Carolina

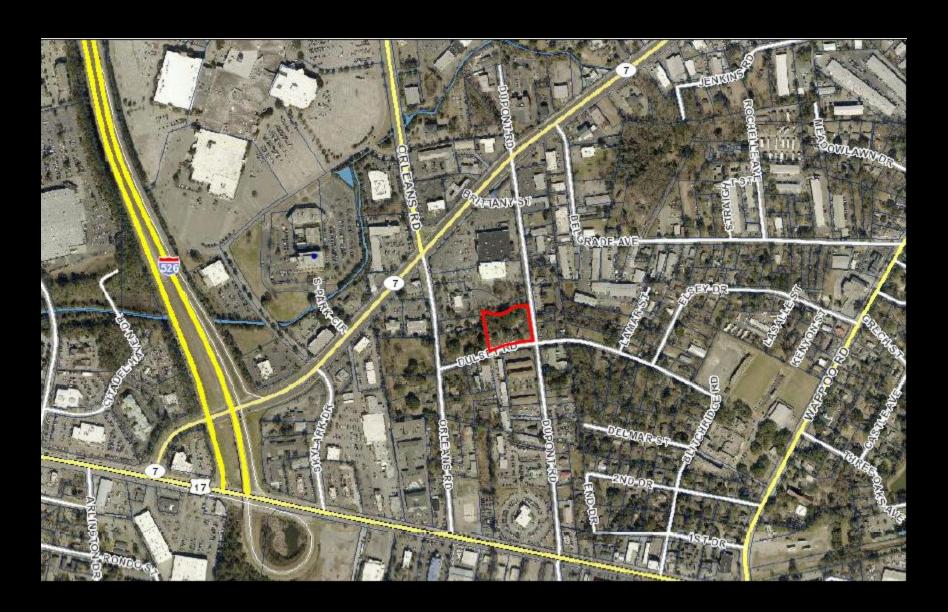




Agenda Item 6:

813 Dupont Road

Request Conceptual approval for new construction of a multi-family development as per documentation submitted.



CONTEXT MAP



SHEET INDEX

T001	COVER SHEET
A001	SITE - AERIAL & SHEET INDEX
A002	SITE PHOTOGRAPHS
	STREET SCAPES
L101	PROPOSED SITE PLAN
A101	OVERALL FIRST FLOOR PLAN
A102	OVERALL SECOND FLOOR PLAN
A103	OVERALL THIRD FLOOR PLAN
A151	OVERALL ROOF PLAN
A201DUP	ONT ROAD ELEVATION - FACING EAST
A202DULS	SEY ROAD ELEVATION - FACING SOUTH
A203	REAR ELEVATION - FACING NORTH
A204	REAR ELEVATION - FACING WEST
RG01STREET	PERSPECTIVE - FACING EAST & SOUTH
RG02	AERIAL VIEW - FACING NORTH & WEST
RG03	MATERIALS

SITE - AERIAL

SCALE NOT TO SCALE
PHOTO SHEET AOO2 REFERENCE



SITE - AERIAL & SHEET INDEX





THE OAKS AT DUPONT=

at Dupont Road & Dulsey Road Charlestor, South Carolina





UR TACQUO - 1 WalV



VIEW 2 - DUPONT RD



VIEW 3 - INTERSECTION OF DUPCNT RD & DULSEY RD



VIEW 4 - DULSEY RD



VIEW 5 - DULSEY RD



VIEW 6 - SITE PANORAMA





at Dupont Road & Dulsey Road Charleston, South Carolina





APPLICANT PRESENTATION







THE OAKS AT DUPONT AFFORDABLE HOUSING

CHARLESTON, SOUTH CAROLINA TMS # 3511300047

> DRB CONCEPTUAL REVIEW NOVEMBER 7, 2016

SGA ARCHITECTURE COMMISSION NO. 16057

PROPERTY OWNER:

THE OAKS AT DUPONT, LLC (GREENWAY RESIDENTIAL DEVELOPMENT, LLC) 22120 FAIRVIEW CENTER DR., 3150 FAIRVIEW PAPK, OH 44126 CONTACT: DAVID L. S'W

ARCHITECTURE & LANDSCAPE ARCHITECTURE:

SGA ARCHITECTURE, LLC 804 MEETING STREET, SUITE 103 CHARLESTON, SC 29403 CONTACT: LUDA SOBCHLK

CIVIL ENGINEERING:

CAROLINA ENGINEERING CONSULTANTS, INC. P.O. BOX 294 BEAUFORT, SC 29901 CONTACT: DAVID KARLYK



SHEET INDEX

TOD1	COVER SHEET
A001	SITE - AERIAL & SHEET INDEX
A002	SITE PHOTOGRAPHS
A003	STREET SCAPES
L101	PROPOSED SITE PLAN
A101	OVERALL FIRST FLOOR PLAN
A102	OVERALL SECOND FLOOR PLAN
A103	OVERALL THIRD FLOOR PLAN
A151	OVERALL ROOF PLAN
A201	DUPONT ROAD ELEVATION - FACING EAST
A202	DULSEY ROAD ELEVATION - FACING SOUTH
A203	REAR ELEVATION - FACING NORTH
A204	REAR ELEVATION - FACING WEST
RG01STI	REET PERSPECTIVE - FACING EAST & SOUTH
RG02	AERIAL VIEW - FACING NORTH & WEST
RG03	MATERIALS

SITE - AERIAL

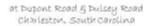
SCALE NOT TO SCALE
PHOTO SHEET AOO2 REFERENCE



SITE - AERIAL & SHEET INDEX













UR TYCHUG - I WAIV



VIEW 2 - DUPONT RD



VIEW 3 - INTERSECTION OF DUPCNT RD & DULSEY RD



VIEW 4 - DULSEY RD



VIEW 5 - DULSEY RD



VIEW 6 - SITE PANORAMA

















OHO! THE CENTER!

DUPONT ROAD STREET SCAPE - FACING EAST - VIEW 1

A . 6 : 1" = 20"



SINGLE PARLY HOME



DULSEY RO

DUPONT ROAD STREET SCAPE - FACING WEST - VIEW 2



DULBEYRD



STREET SCAPES

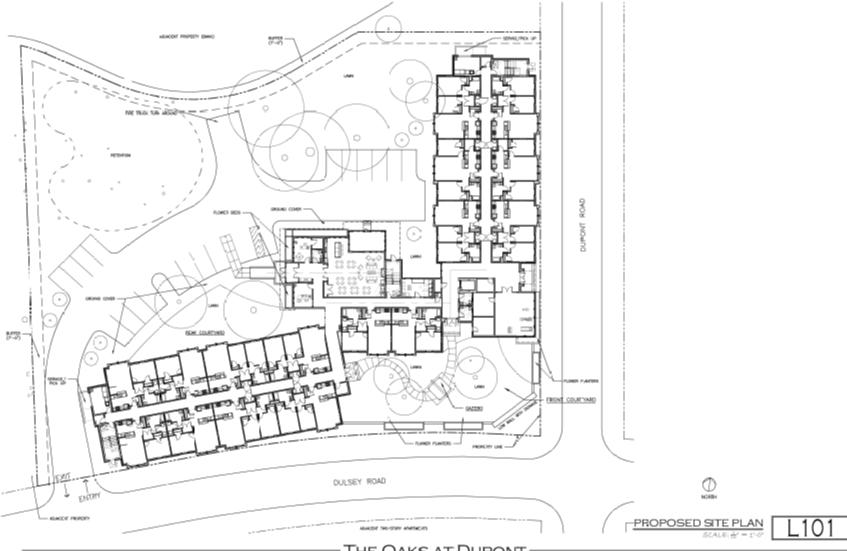




at Dupont Road & Dulsey Road Charleston, South Carolina



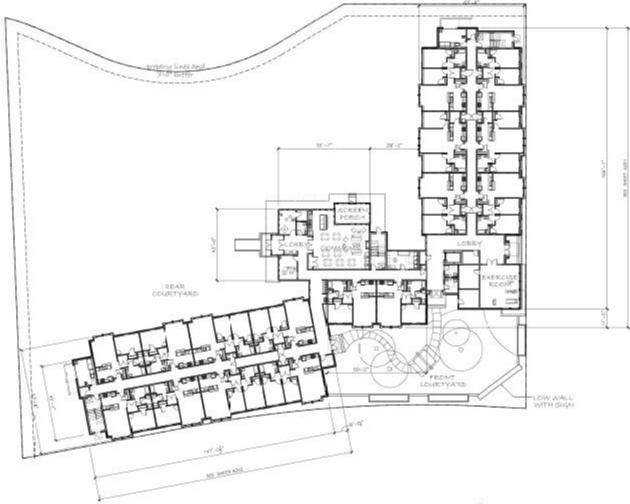














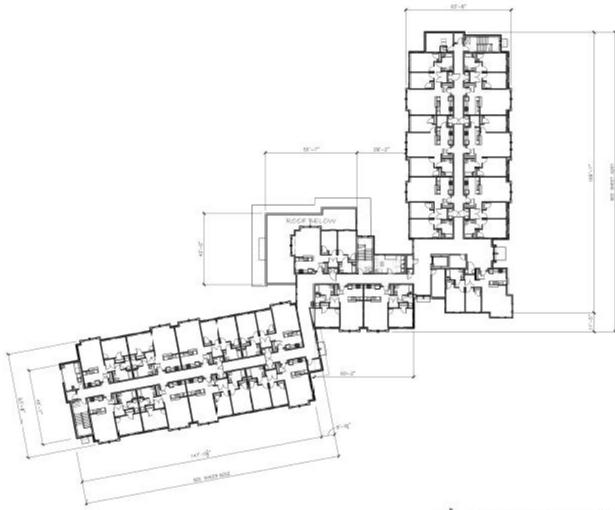
OVERALL FIRST FLOOR PLAN SCALE: 1/10° = 1:-0°













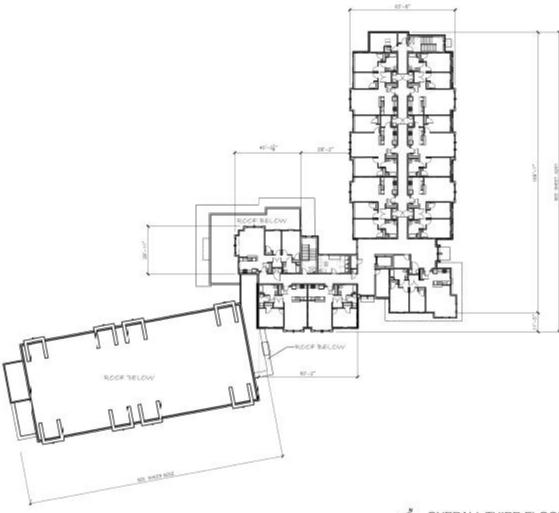
OVERALL SECOND FLOOR PLAN











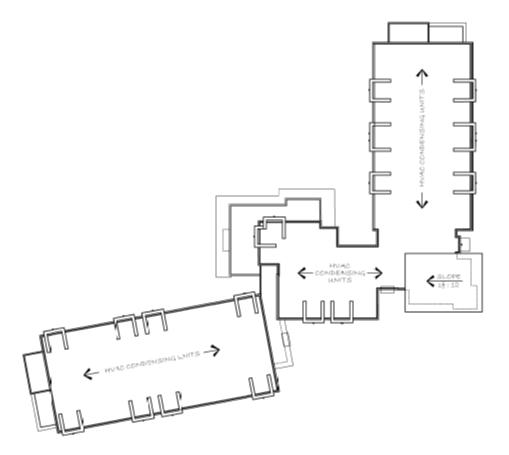


OVERALL THIRD FLOOR PLAN SCALE: 1/16" = 1'-6" A103





















PARTIAL FLOOR PLAN
SCALE: 8/82' = 1'-0'

DUPONT ROAD ELEVATION - FACING EAST

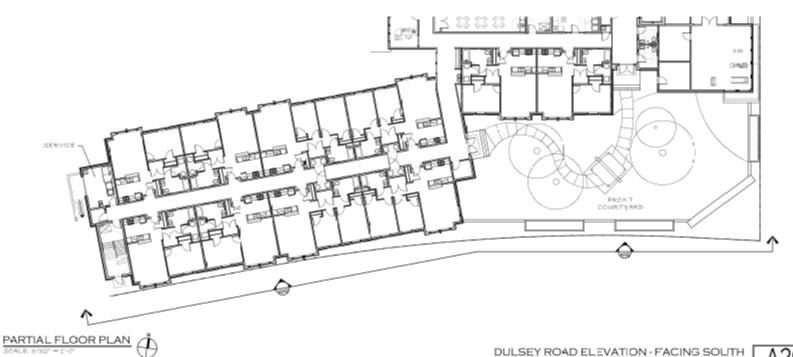
A201











DULSEY ROAD ELEVATION - FACING SOUTH













PARTIAL FLOOR PLAN
SCALE: 8/82" = 1'-0"

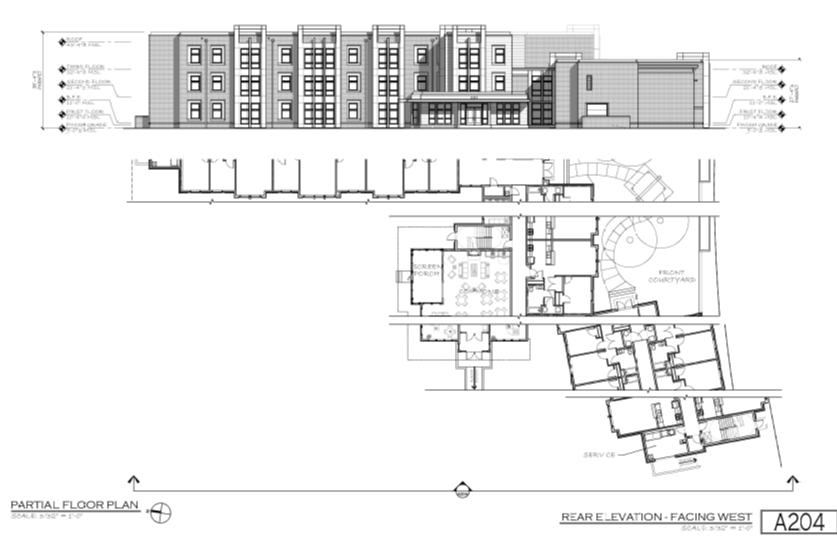
REAR ELEVATION - FACING NORTH

A203

















STREET PERSPECTIVE - FACING EAST & SOUTH SCALE, NOT TO SCALE











AERIAL VIEW - FACING NORTH & WEST SEALE NOT TO SEALE













RUNNING BOND BRICK









CREPE MYRTLE

TREES





BUILDING





GROUND COVER

LANDSCAPING







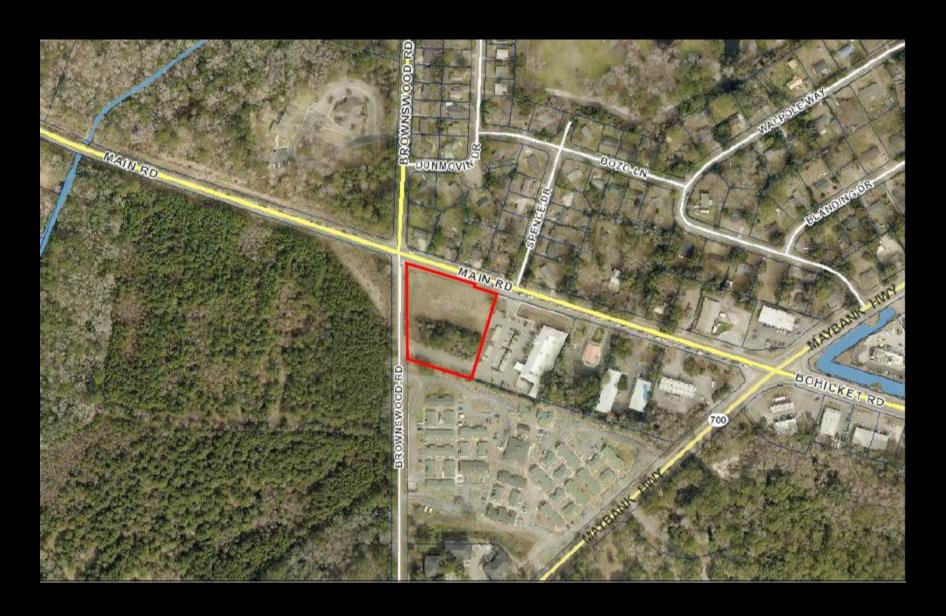




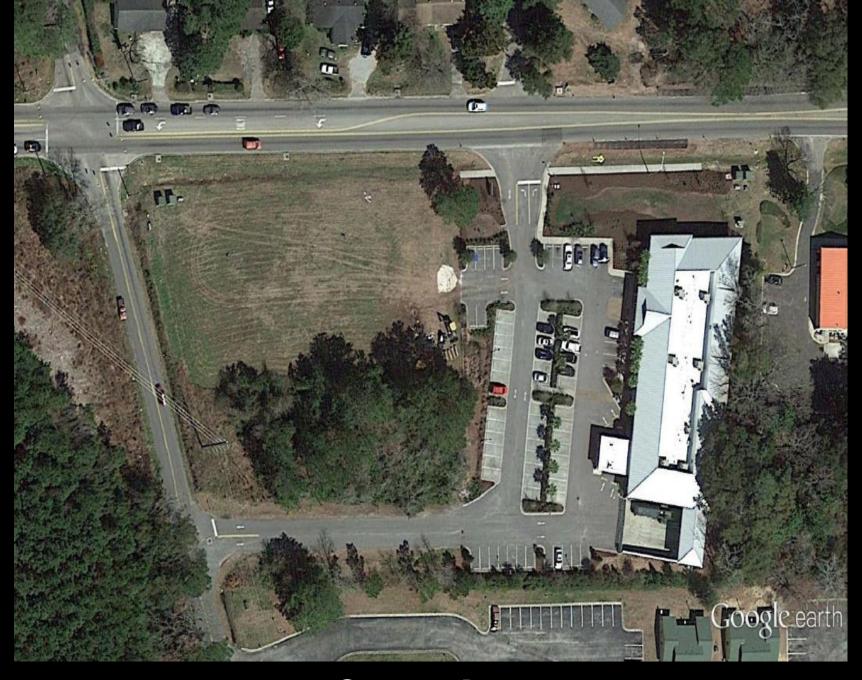
Agenda Item 7:

Main Road at Brownswood Road

Request Conceptual approval for new construction of a multi-family development as per documentation submitted.



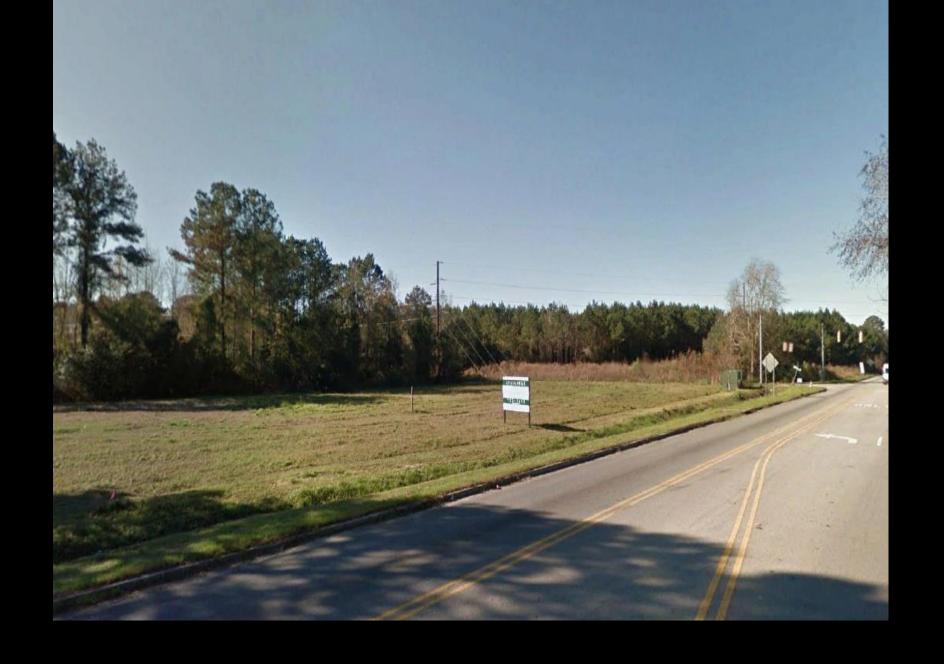
CONTEXT MAP



CONTEXT PHOTOS



CONTEXT PHOTOS



CONTEXT PHOTOS

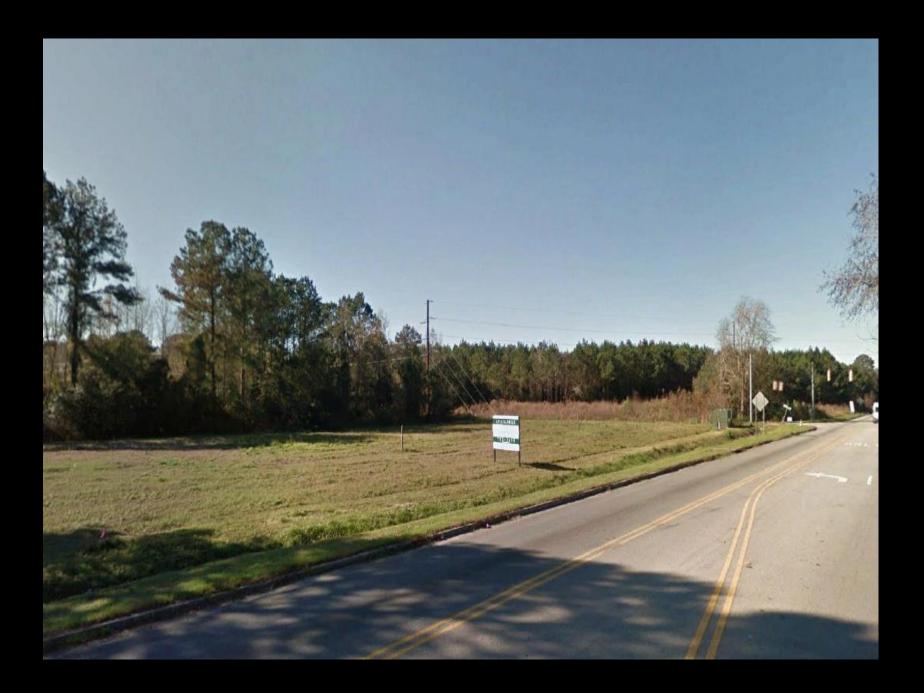


CONTEXT PHOTOS

APPLICANT PRESENTATION





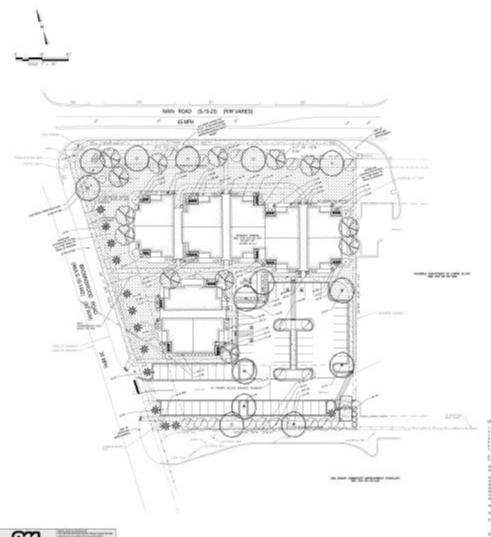






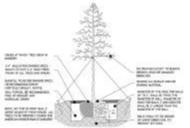






Knew what's below. Call before you dig.

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			1984		
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TREE PLANTING DETAIL



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CLINE

LANDSCAPE PLAN

962714/665



PREVIOUS BUILDING 100







PREVIOUS BUILDING 100





PREVIOUS BUILDING 200



BUILDING 200 SOUTH ELEVATION



CURRENT BUILDING 200

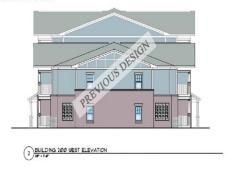


2 BUILDING 2000 BEST ELEVATION



BUILDING 2000 EAST ELEVATION

PREVIOUS BUILDING 200









LEFT ELEVATION

1/8"= 1'-0" FROM PARKING LOT FACE

10/25/2016



RIGHT ELEVATION

1/8"=1"-0" FROM PARKING LOT FACE 10/25/2016



REAR ELEVATION

1/8"= 1'-0" STREET FACING

10/25/2016



FRONT ELEVATION

1/8"=1'-0" PARKING LOT FACING

10/25/2016









PREVIOUS VIGNETTE NO.1

CURRENT VIGNETTE NO.1





OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA 906/16

CURRENT VIGNETTE NO. 1



OAKSIDE APARTMENTS

JOHN'S ISLAND, SOUTH CAROLINA

10/25/16

PREVIOUS VIGNETTE NO. 2

CURRENT VIGNETTE NO. 2





OAKSIDE APARTMENTS
JOHNS ISLAND, SOUTH CAROLINA 198616

OAKSIDE APARTMENTS
JOHN S ISLAND, SOUTH CAROLINA 1823.



OAKSIDE APARTMENTS

JOHN'S ISLAND, SOUTH CAROLINA

10/25/16

SLIDE 17

■ • MARTIN BILEY ASSOCIATES - ARCHITECTS, P.C. • •

PREVIOUS VIGNETTE NO.3

CURRENT VIGNETTE NO.3





OAKSIDE APARTMENTS JOHN'S ISLAND, SOLTH CAROLINA OAKSIDE APARTMENTS JOHNS ISLAND, SOUTH CAROLINA



OAKSIDE APARTMENTS

JOHN'S ISLAND, SOUTH CAROLINA

10/25/16

PREVIOUS VIGNETTE NO.4

CURRENT VIGNETTE NO.4





OAKSIDE APARTMENTS

OAKSIDE APARTMENTS JOHN'S ISLAND, SOUTH CARDLINA



OAKSIDE APARTMENTS

JOHN'S ISLAND, SOUTH CAROLINA

10/25/16

SLIDE 21

MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.

PREVIOUS VIGNETTE NO.5







CURRENT VIGNETTE NO.5

OAKSIDE APARTMENTS
JOHNS BLORESOUTH CAROLINA 986/16

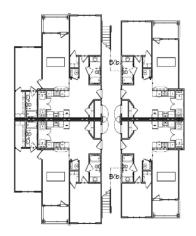
OAKSIDE APARTMENTS
JOHNS ISLAND, SOUTH CAROLINA



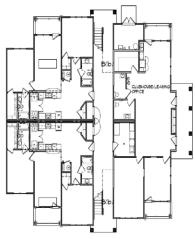
OAKSIDE APARTMENTS

JOHN'S ISLAND, SOUTH CAROLINA

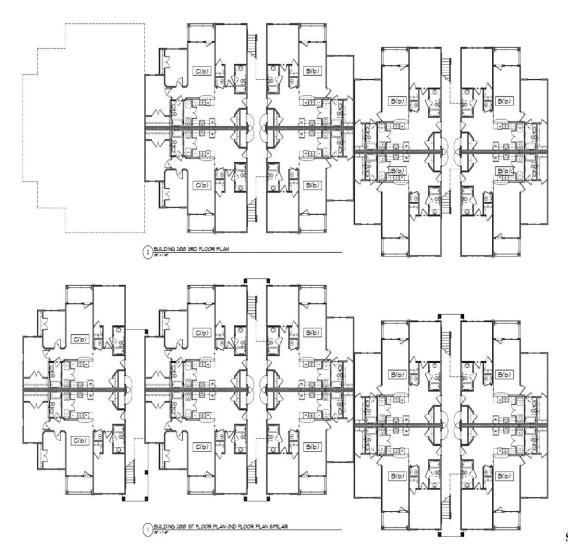
10/25/16



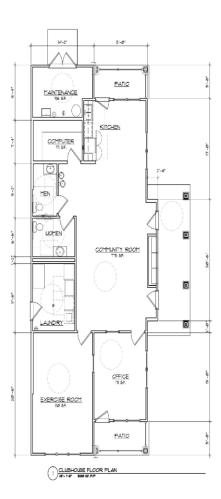
2) BUILDING 1000 2ND FLOOR PLAN- 3RD FLOOR PLAN SMILAR

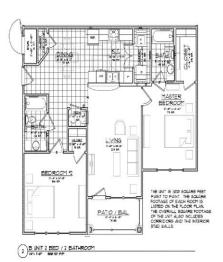


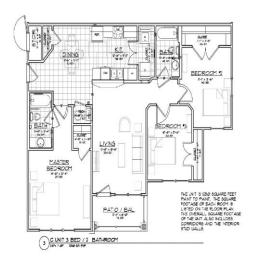
BUILDING 1000 15T FLOOR PLAN W/ CLUBHOUSE/OFFICE



SLIDE 25









SLIDE 27

